

PB# 04-34

N. Plank Development

68-2-12.22

TOWN OF NEW WINDSOR
PLANNING BOARD

APPROVED COPY

DATE: May 9, 2007

P.B. # **04-34** NORTH PLANK DEV.
TEMPLE HILL RD. - NEW BLDGS (SHAW)

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 05/24/2007

PAGE: 1

LISTING OF PLANNING BOARD FEES
ESCROW

FOR PROJECT NUMBER: 4-34

NAME: RETAIL & OFFICE - NORTH PLANK DEVELOPMENT LLC
APPLICANT: NORTH PLANK DEVELOPMENT LLC

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
12/06/2004	REC. CK. #8579	PAID		750.00	
12/08/2004	P.B. ATTY. FEE	CHG	35.00		
12/08/2004	P.B. MINUTES	CHG	36.00		
02/23/2005	P.B. ATTY. FEE	CHG	35.00		
02/23/2005	P.B. MINUTES	CHG	31.50		
12/13/2006	P.B. MINUTES	CHG	49.00		
02/28/2007	P.B. MINUTES	CHG	35.00		
05/07/2007	P.B. ENGINEER	CHG	683.00		
05/09/2007	P.B. ATTY.	CHG	175.00		
05/24/2007	REC. CK. #53912	PAID		329.50	
	TOTAL:		1079.50	1079.50	0.00

Receipt 5-24

P.B. #04-34 Escrow

ORIGINAL DOCUMENT PRINTED ON CHEMICAL REACTIVE PAPER WITH MICROPRINTED BORDER

North Plank Development Co. LLC
5020 Route 9W 561-3625 (shaw)
Newburgh, NY 12550

CHASE
JPMorgan Chase Bank, N.A.
5020 Route 9W
Newburgh, N.Y. 12550

53912
Date
05/14/2007

*** Three Hundred Twenty Nine Dollars And Fifty Cents ***

Amount
\$329.50

Pay
To The
Order of
Town of New Windsor
Receiver of Taxes
555 Union Ave
New Windsor, NY 12553

Amount over Escrow 153 Temple Hill Road

THIS DOCUMENT CONTAINS HEAT SENSITIVE INK. TOUCH OR PRESS HERE - RED INK DISAPPEARS WITH HEAT.
#53912# 0214106370 6801581054

Town of New Windsor
555 Union Avenue
New Windsor, NY 12553
(845) 563-4611

RECEIPT
#388-2007

05/24/2007

North Plank Dev. Co. *P.B. 04-34*

Received \$ 125.00 for Planning Board Fees, on 05/24/2007. Thank you for stopping by the Town Clerk's office.

As always, it is our pleasure to serve you.

Deborah Green
Town Clerk

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 05/24/2007

PAGE: 1

LISTING OF PLANNING BOARD ACTIONS

STAGE:

STATUS [Open, Withd]
A [Disap, Appr]

FOR PROJECT NUMBER: 4-34

NAME: RETAIL & OFFICE - NORTH PLANK DEVELOPMENT LLC

APPLICANT: NORTH PLANK DEVELOPMENT LLC

--DATE--	MEETING-PURPOSE-----	ACTION-TAKEN-----
05/09/2007	PLANS STAMPED	APPROVED
02/28/2007	P.B. APPEARANCE-MINOR CHANGE . MINOR CHANGES TO THE PLAN -	REAPPROVED REAPPROVED INCLUDING CHANGES
12/13/2006	P.B. APPEARANCE . ADDRESS MARK'S COMMENTS -	ND:APPR. COND COST ESTIMATE
02/23/2005	P.B. - PUBLIC HEARING . SUBMIT TO OC.HEALTH DEPT -	LA: CL PH NEED WASTEWATER REPORT
12/08/2004	P.B. APPEARANCE . MOVE POLES AWAY FROM CURBS	LA LTR SCHED PH
11/30/2004	WORKSHOP APPEARANCE	SUBMIT

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 05/24/2007

PAGE: 1

LISTING OF PLANNING BOARD SEQRA ACTIONS

FOR PROJECT NUMBER: 4-34

NAME: RETAIL & OFFICE - NORTH PLANK DEVELOPMENT LLC
APPLICANT: NORTH PLANK DEVELOPMENT LLC

DATE-SENT ACTION----- DATE-RECD RESPONSE-----

ORIG	12/06/2004	EAF SUBMITTED	12/06/2004	WITH APPLIC
ORIG	12/06/2004	CIRCULATE TO INVOLVED AGENCIES . OC PLAN: LOCAL DETERMINATION	12/08/2004	AUTH LA LTR
ORIG	12/06/2004	LEAD AGENCY DECLARED	02/23/2005	TOOK LA
ORIG	12/06/2004	DECLARATION (POS/NEG)	12/13/2006	DEC NEG DEC
ORIG	12/06/2004	SCHEDULE PUBLIC HEARING . SCHED PH AFTER 30 DAYS LA LETTR	12/08/2004	SCHED PH
ORIG	12/06/2004	PUBLIC HEARING HELD	02/23/2005	CLOSED PH
ORIG	12/06/2004	WAIVE PUBLIC HEARING	/	/
ORIG	12/06/2004	PRELIMINARY APPROVAL	/	/
ORIG	12/06/2004		/	/
ORIG	12/06/2004	LEAD AGENCY LETTER SENT	/	/

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 05/24/2007

PAGE: 1

LISTING OF PLANNING BOARD AGENCY APPROVALS

FOR PROJECT NUMBER: 4-34

NAME: RETAIL & OFFICE - NORTH PLANK DEVELOPMENT LLC

APPLICANT: NORTH PLANK DEVELOPMENT LLC

	DATE-SENT	AGENCY-----	DATE-RECD	RESPONSE-----
REV1	11/30/2006	MUNICIPAL HIGHWAY	/ /	
REV1	11/30/2006	MUNICIPAL WATER	/ /	
REV1	11/30/2006	MUNICIPAL SEWER	/ /	
REV1	11/30/2006	MUNICIPAL FIRE	12/06/2006	APPROVED
REV1	11/30/2006	NYS DOT	/ /	
ORIG	12/06/2004	MUNICIPAL HIGHWAY	11/30/2006	SUPERSEDED BY REV1
ORIG	12/06/2004	MUNICIPAL WATER	11/30/2006	SUPERSEDED BY REV1
ORIG	12/06/2004	MUNICIPAL SEWER	11/30/2006	SUPERSEDED BY REV1
ORIG	12/06/2004	MUNICIPAL FIRE	12/08/2004	APPROVED
		. NOTE: AS PER TOWN CODE, BOTH BUILDINGS WILL REQUIRE		
		. SPRINKLER SYSTEMS AS THEY ARE OVER 5,000 SF.		
ORIG	12/06/2004	NYS DOT	11/30/2006	SUPERSEDED BY REV1

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 05/24/2007

PAGE: 1

LISTING OF PLANNING BOARD **FEES**
APPROVAL

FOR PROJECT NUMBER: 4-34

NAME: RETAIL & OFFICE - NORTH PLANK DEVELOPMENT LLC

APPLICANT: NORTH PLANK DEVELOPMENT LLC

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
05/10/2007	SITE PLAN APPROVAL FEE	CHG	125.00		
05/24/2007	REC. CK. #53913	PAID		125.00	
			-----	-----	-----
		TOTAL:	125.00	125.00	0.00



Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4615
Fax: (845) 563-4689

OFFICE OF THE PLANNING BOARD

May 11, 2007

Shaw Engineering
P.O. Box 2569
Newburgh, NY 12550

ATTN: GREGG SHAW, P.E.

SUBJECT: P.B. #04-34 NORTH PLANK DEVELOPMENT

Dear Gregg:

Please find attached printouts of fees due for subject project.

Please contact your client, the applicant, and ask that payment be submitted in separate checks, payable to the Town of New Windsor, as follows:

Check #1 – Approval Fee.....	\$ 125.00
Check #2 – Amount over Escrow.....	\$ 329.50
Check #3 - 2% of cost est. \$171,787.00 inspect. fee.....	\$ 3,436.00

Upon receipt of these checks, I will have the plans stamped and signed approved.

If you have any questions in this regard, please contact my office.

Very truly yours,

Myra L. Mason, Secretary To The
NEW WINDSOR PLANNING BOARD

MLM

FAXED

5-11-07

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 05/11/2007

PAGE: 1

LISTING OF PLANNING BOARD **FEES**
ESCROW

FOR PROJECT NUMBER: 4-34

NAME: RETAIL & OFFICE - NORTH PLANK DEVELOPMENT LLC
APPLICANT: NORTH PLANK DEVELOPMENT LLC

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
12/06/2004	REC. CK. #8579	PAID		750.00	
12/08/2004	P.B. ATTY. FEE	CHG	35.00		
12/08/2004	P.B. MINUTES	CHG	36.00		
02/23/2005	P.B. ATTY. FEE	CHG	35.00		
02/23/2005	P.B. MINUTES	CHG	31.50		
12/13/2006	P.B. MINUTES	CHG	49.00		
02/28/2007	P.B. MINUTES	CHG	35.00		
05/07/2007	P.B. ENGINEER	CHG	683.00		
05/09/2007	P.B. ATTY.	CHG	175.00		
		TOTAL:	1079.50	750.00	329.50

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 05/11/2007

PAGE 1

LISTING OF PLANNING BOARD **FEES**
APPROVAL

FOR PROJECT NUMBER: 4-34

NAME: RETAIL & OFFICE - NORTH PLANK DEVELOPMENT LLC
APPLICANT: NORTH PLANK DEVELOPMENT LLC

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-D
05/10/2007	SITE PLAN APPROVAL FEE	CHG	125.00		
			-----	-----	-----
		TOTAL:	125.00	0.00	125.00

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 05/11/2007

PAGE:

LISTING OF PLANNING BOARD **FEES**
4% FEE

FOR PROJECT NUMBER: 4-34

NAME: RETAIL & OFFICE - NORTH PLANK DEVELOPMENT LLC
APPLICANT: NORTH PLANK DEVELOPMENT LLC

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DU
05/10/2007	2% OF COST EST 171,787.	CHG	3436.00		
			-----	-----	-----
		TOTAL:	3436.00	0.00	3436.0

Rec#

Report Template:	All		
Requested by:	Jennifer Schneider		
Finished:	Wednesday, May 09, 2007 at 11:57:04 AM		
Date Range:	ALL DATES		
Matters:	6044917		
Clients:	All		
Major Clients:	All	Firm Totals Only:	No
Responsible Lawyer:	All	Entries Shown - Billed Only:	No
Client Intro Lawyer:	All	Entries Shown - Disbursements:	Yes
Matter Intro Lawyer:	All	Entries Shown - Receipts:	Yes
Assigned Lawyer:	All	Entries Shown - Trust:	Yes
Type of Law:	All	Entries Shown - Time or Fees:	Yes
Matters Sort By::	Default	Working Lawyer:	No
New Page for Each Lawyer:	No	Incl. Matters with Retainer Bal:	No
New Page for Each Matter:	No	Incl. Matters with Neg Unbld Disb:	No
Consolidate Payments:	No	Show Interest:	No
No Activity Date:	Dec 31/2199	Trust Account:	All
Select From:	Active, Inactive Matters		
Include Corrected Entries:	No	Show Client Address:	No
Show Check # on Paid Payables:	No	Totals Only:	No
Ver:	8.05c	Show Trust Summary by Account:	No

AS OF: 05/07/2007

PAGE: 1

CHRONOLOGICAL JOB STATUS REPORT

JOB: 87-56

NEW WINDSOR PLANNING BOARD (Chargeable to Applicant)

CLIENT: NEWWIN - TOWN OF NEW WINDSO

TASK: 4- 34

FOR ALL WORK ON FILE:

TASK-NO	REC	--DATE--	TEAM	EMPL	ACT DESCRIPTION	RATE	HRS.	TIME	EXP.	DOLLARS	
										BILLED	PAID
4-34	325580	02/07/07	TIME	MJE	NS NORTH PLANK S/P MOD	119.00	0.40	47.60			
4-34	328749	02/26/07	TIME	MJE	PM N. PLANK REAPPROVAL	119.00	0.20	23.80			
4-34	327395	02/28/07	TIME	MJE	MM Approved REVISION	119.00	0.10	11.90			
4-34	328761	02/28/07	TIME	MJE	MM NORTH PLANK	119.00	0.20	23.80			
									107.10		
4-34	329720	03/15/07			BILL 07-844					-107.10	
									(UN-BIL 0.00)	-107.10	
4-34	352178				PD/CR 07-844 PD 03/28/07						107.10
									(UN-PAID 0.00)		107.10
4-34	352748	05/07/07	TIME	MJE	MC FileRev Closeout	119.00	0.40	47.60			
TASK TOTAL									154.70	0.00	107.10
GRAND TOTAL									154.70	-107.10	107.10
									(UN-BIL 47.60)	(UN-PAID 0.00)	

Current
Total

528.30
154.70

683.00

AS OF: 05/07/07

PAGE: 1

HISTORICAL CHRONOLOGICAL JOB STATUS REPORT

JOB: 87-56 NEW WINDSOR PLANNING BOARD (Chargeable to Applicant)
TASK: 4- 34

CLIENT: WENWIM - TOWN OF NEW WINDSO

TASK-NO	REC	--DATE--	TRAN	EMPL	ACT DESCRIPTION	RATE	HRS.	TIME	EXP.	DOLLARS	
										BILLED	BALANCE
4-34	212977	11/30/04	TIME	MJE	WS NORTH PLANK DVMT	99.00	0.40	39.60			
4-34	213061	12/07/04	TIME	MJE	MC NORTH PLANK S/P	99.00	0.80	79.20			
4-34	213237	01/11/05	TIME	MJE	MC LA COORD N PLANK	99.00	0.40	39.60			
4-34	213489	02/18/05	TIME	MJE	MC NORTH PLANK S/P	99.00	0.60	59.40			
								217.80			
4-34	213550	02/28/05			BILL 05-343						-217.80
4-34	221606	10/18/06	TIME	MJE	WS NORTH PLANK S/P W/S	115.00	0.40	46.00			
4-34	221824	11/01/06	TIME	MJE	WS NORTH PLANK DVMT	115.00	0.40	46.00			
4-34	221826	11/01/06	TIME	MJE	MC TC/SEAW:ALT LAYOUT	115.00	0.30	34.50			
								126.50			
4-34	222196	11/21/06			BILL 06-2933						-126.50
4-34	222421	12/05/06	TIME	MJE	MC NORTH PLANK S/P W/GA	115.00	0.10	11.50			
4-34	222415	12/06/06	TIME	MJE	MR NORTH PLANK SITE PLN	115.00	0.30	34.50			
4-34	222416	12/07/06	TIME	MJE	MC SIBY DOT:N.PLANK STS	115.00	0.20	23.00			
4-34	222417	12/07/06	TIME	MJE	MC NORTH PLANK ISSUES	115.00	0.30	34.50			
4-34	222419	12/07/06	TIME	MJE	MR NORTH PLANK S/P	115.00	0.50	57.50			
4-34	222424	12/07/06	TIME	MJE	MC NORTH PLANK S/P W/GA	115.00	0.20	23.00			
4-34	222501	12/13/06	TIME	MJE	MM NorthPlank APPD	0.00	0.10	0.00			
								184.00			
4-34	222551	12/22/06			BILL 06-3206						-184.00
											-184.00
TASK TOTAL								528.30	0.00	-528.30	

old billing

Myra Mason

From: Mark Edsall [mje@mhepc.com]
Sent: Monday, May 07, 2007 12:49 PM
To: Myra Mason
Subject: North Plank Site Plan - 04-34

Myra

I reviewed my file for the subject. It seems fine. I see no reason why plans could not be stamped approved.

Cost Estimate from Shaw is based on standard unit prices and is fine. (\$171,787 with insp fee \$3436)

I will email over our printout of time shortly.

Mark

Mark J. Edsall, P.E.

Principal

McGoey Hauser & Edsall
Consulting Engineers, P.C.
33 Airport Center Drive - Suite #202
New Windsor, New York 12553
(845) 567-3100

5/9/2007

Shaw Engineering

Consulting Engineers

744 Broadway
P.O. Box 2569
Newburgh, New York 12550
(845) 561-3695

April 2, 2007

Chairman Genaro Argenio and
Members of the Planning Board
TOWN OF NEW WINDSOR
555 Union Avenue
New Windsor, New York 12553

Re: New Retail / Office Building for North Plank Development Company, LLC.
U.S. Route 300 (Temple Hill Road)

Gentlemen:

We have presented below for your consideration our Construction Estimate for the site improvements for North Plank Development Company, LLC. Our Estimate is as follows:

CONSTRUCTION ESTIMATE


<u>ITEM</u>	<u>QUANTITY</u>	<u>UNIT PRICE</u>	<u>AMOUNT</u>
Erosion Control	3.014 Ac	\$ 1,800	\$ 5,425
Catch Basin	9	\$ 2,700	\$ 24,300
15" Storm Water Pipe	727 L.F.	\$ 30	\$ 21,800
18" Storm Water Pipe	70 L.F.	\$ 40	\$ 2,800
Paving & Base	2,531 S.Y.	\$ 12	\$ 30,372
Parking Space Striping	893 L.F.	\$ 0.50	\$ 450
Handicapped Sign & Striping	2	\$ 200	\$ 400
Concrete Curbing	1,097 L.F.	\$ 18	\$ 19,750
Concrete Sidewalk	237 S.Y.	\$ 38	\$ 9,020
Flagpole	1	\$ 500	\$ 500

<u>ITEM</u>	<u>QUANTITY</u>	<u>UNIT PRICE</u>	<u>AMOUNT</u>
6" Sewer Pipe	305 L.F.	\$ 25	\$ 7,625
6" Water Pipe	358 L.F.	\$ 40	\$ 14,320
Hydrants	3 E.A.	\$ 2,700	\$ 8,100
Manholes	3 L.F.	\$ 2,300	\$ 6,900
Chain Link Fence	470 L.F.	\$ 8	\$ 3,760
Split Rail Fence	190 L.F.	\$ 8	\$ 1,520
Pole With Single Luminaire	6	\$ 1,500	\$ 9,000
Landscaping Trees	20	\$ 180	\$ 3,600
Landscaping Shrubs	43	\$ 25	\$ 1,075
Topsoil & Seeding	853 S.Y.	\$ 1.25	\$ 1,070
Total			\$ 171,787

Should this Estimate be acceptable, my client will pay the 2% inspection fee of \$ 3,435.74

Respectfully submitted,

SHAW ENGINEERING



Gregory J. Shaw, P.E.
Principal

GJS:mmv

Cc: North Plank Development Company, LLC

NORTH_PLANK_DEVELOPMENT_CO._ (04-34)

MR. ARGENIO: North Plank Development.

Gregory Shaw of Shaw Engineering appeared before the board for this proposal.

MR. ARGENIO: This application proposes development of 7,200 square feet and 10,000 square foot building for retail and office use on the three plus acre parcel. Plan was previously reviewed at the 8 December, 2004, 23 February, 2005, 13 December, 2006 planning board meetings. Mr. Shaw, what are you here for tonight with this application? Guys, this is the one over near Strober King, that's right, Greg, isn't it?

MR. SHAW: Yes.

MR. MINUTA: This is the segmented lot?

MR. ARGENIO: Correct.

MR. MINUTA: It's across from the dealership.

MR. ARGENIO: Pretty close. Go ahead, Mr. Shaw.

MR. SHAW: Once again, for the record, my name is Greg Shaw from Shaw Engineering representing North Plank Development Company. Pretty much we were in front of the board three months ago for site plan and during that time, my client had decided that he wanted to expand the building from pretty much being 110 feet to 120 cause he feels these units are more marketable at 20 foot increments.

MR. ARGENIO: What's the new, which is the old?

MR. SHAW: The one on the right is the old one and the left is new. We're increasing the square footage from 5,600 square feet to 7,200 square feet. That being

said with the increase we add in the additional parking and we had to move the refuse enclosure from the side which is now located in the back and that's it.

MR. ARGENIO: Everything else is the same, walkway?

MR. SHAW: Everything is the same.

MR. ARGENIO: Anybody have a problem with that last time? This is your second bite at the apple, I don't recall there being any major issues. You have final approval, yes?

MR. SHAW: Yes.

MR. CORDISCO: Yes.

MR. ARGENIO: Mark, what is the disposition of the road going down the middle of this and we talked about how he was going to build out the road, we had a long discussion about if my memory serves me he was going to construct, I don't remember what exactly what it was, how they were, they're going to construct the road, we talked about them building all the way to the end and Joe brought up the point about kids possibly going down there and getting into mischief. How did we land on that?

MR. EDSALL: I believe the intent was--

MR. ARGENIO: Doesn't affect the application.

MR. EDSALL: I think the intent was to build the entire front portion to the final standard, finish all the landscaping and grading and set up the infrastructure so it could be extended without any difficulty.

MR. ARGENIO: Leaving the top course out on the road.

MR. EDSALL: I'm not quite sure that they eliminated

that, I thought it was going in on this one.

MR. ARGENIO: I think you should lift out. You follow me?

MR. SHAW: Yeah.

MR. ARGENIO: Build the road, put all your lower courses but when you get to the top I don't think we should top it, Mark, we're going to end up with seven seams going down the middle of the road.

MR. EDSALL: No, I think it would to me depend upon what the spacing is between the phases but we would have no problem bonding that and waiting.

MR. MINUTA: What's happening with the fence? There's no fence between there anymore.

MR. EDSALL: Originally there was a 6 foot high fence along that.

MR. MINUTA: Definitely needs some screening, we look at it now you see the entire metal building all the way to the end, see some at least fencing and possibly some landscaping there.

MR. SHAW: Right, again, I think that's a very good point.

MR. ARGENIO: Mark now I assume insomuch as this is minor in nature that the applicant wasn't compelled to come in here with a full blown landscaping plan. He shifted things around a bit and added an island, I assume there's something in the island, there's a bush or--

MR. SHAW: Yeah, some kind of--

MR. ARGENIO: What I don't want to see is a pile of

dirt in there.

MR. MINUTA: Where are you?

MR. ARGENIO: Talking about the left side.

MR. EDSALL: Is it your intent once the board accepts the change incorporate the revision into the full set and bring that in for stamping?

MR. SHAW: Yes.

MR. EDSALL: So you'd have plans that would show everything on the original.

MR. ARGENIO: Howard, do you have anything? This is pretty simple. Joe?

MR. MINUTA: That's my only comment, yeah.

MR. ARGENIO: So what do we need to do here, do you need to do, we need to vote on this?

MR. EDSALL: Yeah.

MR. CORDISCO: Yeah.

MR. ARGENIO: Any comments from the agencies?

MR. CORDISCO: It's a vote amending site plan.

MR. ARGENIO: I'll accept a motion.

MR. MINUTA: Except before we go there when we accept this amendment are we accepting it as it's drawn or accepting it with the provisions of the fence and landscaping to be provided?

MR. ARGENIO: There's no question.

February 28, 2007

37

MR. CORDISCO: It's a conditional approval that the plans have to be modified to address the boards--

MR. EDSALL: And it will be the full set because the full set has not been stamped yet so they want to make this revision and incorporate it into the full set.

MR. MINUTA: Thank you.

MR. ARGENIO: Accept a motion that we offer a reapproval of this application based on this plan, comments Joe made and this plan being incorporated and in full force with the other set when they're put together.

MR. MINUTA: So moved.

MR. GALLAGHER: Second it.

MR. ARGENIO: Motion has been made and seconded that the Town of New Windsor Planning Board offer reapproval for the North Plank Development site plan. If there's no further discussion from the board members, roll call.

ROLL CALL

MR. GALLAGHER	AYE
MR. BROWN	AYE
MR. MINUTA	AYE
MR. ARGENIO	AYE



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. MCGOEY, P.E. (NY & PA)

WILLIAM J. HAUSER, P.E. (NY & NJ)

MARK J. EDSALL, P.E. (NY, NJ & PA)

JAMES M. FARR, P.E. (NY & PA)

MAIN OFFICE

33 AIRPORT CENTER DRIVE

SUITE 202

NEW WINDSOR, NEW YORK 12553

(845) 567-3100

FAX: (845) 567-3232

E-MAIL: MHEHY@MHEPC.COM

WRITER'S E-MAIL ADDRESS:

MJE@MHEPC.COM

TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS


PROJECT NAME: NORTH PLANK DEVELOPMENT LLC SITE PLAN – PHASE I
(PROPOSED RETAIL & OFFICE BUILDINGS)
PROJECT LOCATION: WEST SIDE TEMPLE HILL RD. (NYS RT. 300)(FREEDOM RD.)
SECTION 68 – BLOCK 2 – LOT 12.22
PROJECT NUMBER: 04-34
DATE: 14 FEBRUARY 2007
DESCRIPTION: THE APPLICATION PROPOSES THE DEVELOPMENT OF 7200 S.F.
AND 10,200 S.F. BUILDINGS FOR RETAIL AND OFFICE USE ON THE
3+ ACRE PARCEL. THE PLAN WAS PREVIOUSLY REVIEWED AT
THE 8 DECEMBER 2004, 23 FEBRUARY 2005 AND 13 DECEMBER
2006 PLANNING BOARD MEETINGS.

1. This is Phase I of a project for more than one building on the overall site. The Board granted final site plan approval to Phase I, a 6600 s.f. building, on 12-13-06.

The applicant has not yet had the plans stamped and is now requesting a minor revision to the plan, prior to receiving stamp of approval.

I recommend the Board listen to the applicant's engineer's presentation, and if they agree the revision is minor in nature, accept same on the record such that the final plans can be stamped in this revised form.

Respectfully Submitted,



Mark J. Edsall, P.E., R.P.
Planning Board Engineer

MJE/st
NW04-34-14Feb07.doc

REGIONAL OFFICES

• 507 BROAD STREET • MILFORD, PENNSYLVANIA 18337 • 570-296-2765 •
• 540 BROADWAY • MONTICELLO, NEW YORK 12701 • 845-794-3399 •



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E. (NY & PA)

WILLIAM J. HAUSER, P.E. (NY & NJ)

MARK J. EDSALL, P.E. (NY, NJ & PA)

JAMES M. FARR, P.E. (NY & PA)

☐ **Main Office**

33 Airport Center Drive
Suite #202
New Windsor, New York 12553
(845) 567-3100
e-mail: mheny@mhepc.com

☐ **Regional Office**

507 Broad Street
Milford, Pennsylvania 18337
(570) 296-2765
e-mail: mhepa@mhepc.com

Writer's E-mail Address:
mje@mhepc.com

PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE

TOWN/VILLAGE OF:

New Windsor

P/B APP. NO.: 100-3

05-26

WORK SESSION DATE:

2-7-07

PROJECT: NEW

OLD

X

REAPPEARANCE AT W/S REQUESTED:

RESUB. REQ'D:

PROJECT NAME:

North Plank Sp (pre stay mod)

REPRESENTATIVES PRESENT:

Shan

MUNICIPAL REPS PRESENT:

BLDG INSP. _____

PB ATTY. _____

MHE RE (MJE) (Other) _____

FIRE INSP. _____

PLANNER _____

P/B CHMN _____

OTHER _____

ITEMS DISCUSSED:

Rt 300

next to Stoker

110' → 120' same width

STND CHECKLIST:

PROJECT TYPE

DRAINAGE _____

DUMPSTER _____

SCREENING _____

LIGHTING _____

(Streetlights)

LANDSCAPING _____

BLACKTOP _____

ROADWAYS _____

APPROVAL BOX _____

SITE PLAN

SPEC PERMIT

L L CHG.

SUBDIVISION

OTHER

PROJECT STATUS:

ZBA Referral:

Y

X N

Ready For Meeting

X Y

N

Recommended Mtg Date

2/14



RESULTS OF P.B. MEETING OF: February 28, 2007

PROJECT: North Plank Dev. - Temple Hill Rd P.B. # 04-34

LEAD AGENCY:

NEGATIVE DEC:

AUTHORIZE COORD. LETTER: Y ☐ N ☐
TAKE LEAD AGENCY: Y ☐ N ☐

M) ☐ S) ☐ VOTE: A ☐ N ☐
CARRIED: Y ☐ N ☐

M) ☐ S) ☐ VOTE: A ☐ N ☐
CARRIED: Y ☐ N ☐

PUBLIC HEARING: WAIVED: ☐ CLOSED: ☐

M) ☐ S) ☐ VOTE: A ☐ N ☐ SCHEDULE P.H.: Y ☐ N ☐

SEND TO O.C. PLANNING: Y ☐
SEND TO DEPT. OF TRANSPORTATION: Y ☐

REFER TO Z.B.A.: M) ☐ S) ☐ VOTE: A ☐ N ☐

RETURN TO WORK SHOP: Y ☐ N ☐

APPROVAL:

M) ☒ S) ☒ G VOTE: A ☒ N ☒ . APPROVED: ☒

NEED NEW PLANS: Y ☐ N ☐

CONDITIONS - NOTES:

Increasing square footage + adding parking - Also moved dumpsters
Need fence on plan

Agenda - February 28, 2007

REGULAR_ITEMS:

NORTH_PLANK_DEVELOPMENT_COMPANY_SITE_PLAN_(04-34)

MR. ARGENIO: Plan was briefly reviewed at the 8 December, 2004 and 23 February, 2005 Planning Board meetings with the latter being a public hearing.

Mr. Gregory Shaw of Shaw Engineering appeared before the board for this proposal.

MR. ARGENIO: Greg, I think this is the property next to the steel company, is that correct?

MR. SHAW: That's correct.

MR. ARGENIO: Temple Hill Road.

MR. SHAW: Between the steel company and Strober King.

MR. ARGENIO: Talk to me.

MR. SHAW: Okay, very simply, as the chairman said, what we're proposing is Phase 1 of this project which consists of 6,600 square foot building on a 3 acre parcel in the C zone for retail use on Temple Hill Road. The board has reviewed this application previously, in fact, the prior plan which the board reviewed and had a public hearing on consisted of the two buildings, the building in the front and the 10,000 square foot building in the back which we have removed from these plans at this time. We'd like the board the address SEQRA for both buildings, all right, seeing that we've gone through the public hearing and other components of this plan is that the storm water management facility in the rear of the property has been designed for the ultimate buildout of the property. So with respect to SEQRA, we're looking at the overall site with respect to site plan approval strictly for 6,600 square foot building in the front.

MR. ARGENIO: Can we do that, can we split that up like that?

MR. CORDISCO: Split it up as how, I'm not following?

MR. ARGENIO: Say it again, Greg.

MR. SHAW: Original application was for two buildings, the building in the front and 10,000 square foot building in this pad site area. That was the application the environmental assessment form addressed both buildings, the public hearing addressed both buildings, the storm water management report which was prepared and accepted by your consultants was for both buildings. So what I'm asking for is to the board, for the board to acknowledge that SEQRA was reviewed for both buildings, to get that out of the way, but specifically site plan approval would just be for the one building that's before you tonight.

MR. ARGENIO: The fact that at this point the impact under SEQRA is substantially less.

MR. SHAW: I understand, yes.

MR. ARGENIO: No issue with that?

MR. CORDISCO: No issue.

MR. SHAW: Just some general items, the plans that were previously submitted was approved by your fire inspector, as I said, we had the public hearing on it, the storm water management report has been accepted by your consultant, again, that was for the ultimate buildout, the highway entrance coming into the project we're on a state highway, I have met with the permit officer on a couple of occasions and we relocated the entrance from the southern portion of the site to the northern portion of the site as per her direction.

MR. ARGENIO: Sibby?

MR. SHAW: Sibby and I believe there was a correspondence from Sibby to Mark carbon to Myra regarding her acceptance of this entrance.

MR. ARGENIO: I have that.

MR. SHAW: I believe that's in the file so at this point, I think we have all the pieces in place with respect to the permit documents for this, they were dropped off this week along with the checks and the bonds and all the other standard forms which the DOT wants, so it may be while, before we get the actual permit but I would like the board tonight to consider final site plan approval for this project realizing full well that we have to produce the permit document itself before we can get a stamped site plan.

MR. ARGENIO: Okay, building sprinklered, Greg?

MR. SHAW: Yes, it will be.

MR. ARGENIO: Take a look at it, guys.

MR. GALLAGHER: What's the reason for moving the entrance?

MR. SHAW: The reason is that she wanted to have, we had it tucked into this corner of the property to allow us to access the rear in this fashion, she wanted 50 feet between curb cuts, so we looked at relocating it to maintain that 50 foot and we're right smack in the middle of a utility pole, rather than pay for the cost of relocating the utilities, it was easier to maintain the 50 feet from the highway entrance from Orange County Ironworks.

MR. GALLAGHER: Continue up top with the road?

MR. SHAW: Correct, the building will be situated in this fashion and the road will come down to a front parking area.

MR. SCHLESINGER: You'll lose some spaces then.

MR. SHAW: We'll lose some spaces but we'll be gaining more spaces in the back so the site does balance out with parking.

MR. ARGENIO: Mark, do you have anything on this, I mean, it's, you must get paid well, Greg.

MR. SHAW: I try.

MR. ARGENIO: Erik, do you have anything, I mean, I'm reading the comments.

MR. DENEGA: Well, the one thing that stands out in Mark's comments is the fact that the use, the mini warehouse use parking ratio works for all uses except the mini warehouse. Greg, do you have a copy?

MR. SHAW: Yes.

MR. DENEGA: Such use has other site plan issues which may not be addressed by this planning board, you may wish to discuss with the applicant the appropriateness of use A-6 being listed.

MR. SHAW: Very simply with the retail office uses which have come before this board that I have done for maybe the past eight years, it was always accepted A-1 through A-6 cause they all met the criteria. New Windsor changed the code and put in mini-warehouse as A-6, it's not our intent to use this for my mini-warehouse whatsoever so we'll revise the plan as Mark suggested to exhibit include A-6, so there won't be mini warehouse so at this point there will be 5, not

6 possible uses.

MR. ARGENIO: That should cover that I would think.

MR. DENEGA: Yes.

MR. SCHLESINGER: Approvals to move the entrance.

MR. ARGENIO: She directed me to move it, Sibby e-mailed Mark and said this entrance that you see is acceptable to her. The one you're looking at is acceptable to her subject to the permitting process and we submitted the final paperwork in this week to her.

MR. BABCOCK: They have to get the permit before they get a building permit.

MR. ARGENIO: Michael won't cut 'em loose until they have that.

MR. DENEGA: Mr. Chairman, one other thing, just note Mark's comments number 5 the bond estimate.

MR. ARGENIO: I'm on that. Unless anybody disagrees with me, I'll accept a motion we declare negative dec.

MR. SCHLESINGER: Motion we declare negative dec.

MR. MINUTA: Second it.

MR. ARGENIO: Motion's been made and seconded that the Town of New Windsor Planning Board declare a negative dec under SEQRA process for North Plank Development site plan on Temple Hill Road. If there's no further discussion, roll call.

ROLL CALL

MR. GALLAGHER AYE

MR. BROWN AYE

MR. MINUTA AYE
MR. SCHLESINGER AYE
MR. ARGENIO AYE

MR. ARGENIO: Does anybody have anything else? Am I missing something here, Mike, it seems quite simple?

MR. BABCOCK: No, it's a permitted use in the zone and he meets all the codes.

MR. MINUTA: It's clean lighting and everything is there. I do have one question.

MR. SCHLESINGER: Do you have a flag? I've got to cover Hank.

MR. SHAW: I was hoping Hank not being here I could slip through. We'll put a flag pole with a flag on there.

MR. ARGENIO: Joe, do you have anything? Just for the record, Mr. Shaw, we move quick a lot of times on Mr. Shaw's plans because they tend to be very, very thorough and very well drawn as the audience can see by the rate at which we're moving this tonight, if there's nothing further, I'll accept a motion we offer final approval for this site plan subject to what I'll read in.

MR. SCHLESINGER: So moved.

MR. MINUTA: Second it.

MR. ARGENIO: Motion has been made and seconded that the Town of New Windsor Planning Board grant final approval to the North Plank Development LLC site plan on Temple Hill Road subject to the appropriate bond estimate being submitted and accepted by the town under Chapter 137 of the Town Code. No further discussion, roll call.

December 13, 2006

47

ROLL CALL

MR. GALLAGHER	AYE
MR. BROWN	AYE
MR. MINUTA	AYE
MR. SCHLESINGER	AYE
MR. ARGENIO	AYE

MR. ARGENIO: Thank you, Mr. Shaw.



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.**

RICHARD D. McGOEY, P.E. (NY & PA)

WILLIAM J. HAUSER, P.E. (NY & NJ)

MARK J. EDSALL, P.E. (NY, NJ & PA)

JAMES M. FARR, P.E. (NY & PA)

MAIN OFFICE

33 AIRPORT CENTER DRIVE

SUITE 202

NEW WINDSOR, NEW YORK 12553

(845) 567-3100

FAX: (845) 567-3232

E-MAIL: MHENY@MHEPC.COM

WRITER'S E-MAIL ADDRESS:

MJE@MHEPC.COM

**TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS**

PROJECT NAME: NORTH PLANK DEVELOPMENT LLC SITE PLAN
(PROPOSED RETAIL & OFFICE BUILDINGS)
PROJECT LOCATION: WEST SIDE TEMPLE HILL RD. (NYS RT. 300)(FREEDOM RD.)
SECTION 68 – BLOCK 2 – LOT 12.22
PROJECT NUMBER: 04-34
DATE: 13 DECEMBER 2006
DESCRIPTION: THE APPLICATION PROPOSES THE DEVELOPMENT OF 7200 S.F.
AND 10,200 S.F. BUILDINGS FOR RETAIL AND OFFICE USE ON THE
3+ ACRE PARCEL. THE PLAN WAS PREVIOUSLY REVIEWED AT
THE 8 DECEMBER 2004 AND 23 FEBRUARY 2005 PLANNING
BOARD MEETINGS, WITH THE LATTER BEING A PUBLIC
HEARING.

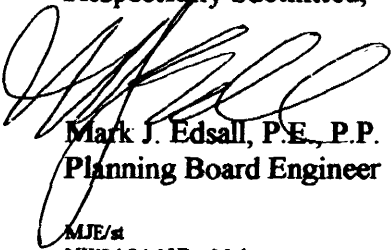
1. The previous plans submitted depicted the full build-out of the property with two buildings (7200 sf and 10,200 sf). This plan now depicts a Phase I of the development, with only the front building, with the same reduced from 7200 sf to 6600 sf.
2. I have reviewed this revised plan and the same seem to address all previous comments, with only one concern remaining. The proposed uses on the plan are A-1 thru A-6 of the Code, which includes retail, banks, personal services, offices, clubs and mini-warehouses. The parking ratio works for all the uses except mini-warehouses. Such use has other site plan issues which may not be addressed by this plan. The Board may wish to discuss with the applicant the appropriateness of use A-6 being listed.
3. For reference purposes, note the following procedural status':
 - Lead Agency Taken 2-23-0⁵6. No significance determination to date.
 - Referral to O.C. Planning 1-10-05. Returned Local Determination 3-2-05.
 - SWPPP submitted. MHE review takes no exception to the report.
 - Referral to NYSDOT on 2-18-05. I am not aware of a response.

REGIONAL OFFICES

• 507 BROAD STREET • MILFORD, PENNSYLVANIA 18337 • 570-296-2765 •
• 540 BROADWAY • MONTICELLO, NEW YORK 12701 • 845-794-3399 •

4. The Planning Board may wish to make a determination regarding the type action this project should be classified under SEQRA, and make a determination regarding environmental significance.
5. The Planning Board should require that a bond estimate be submitted for this Site Plan in accordance with Chapter 137 of the Town Code.

Respectfully Submitted,



Mark J. Edsall, P.E., P.P.
Planning Board Engineer

MJE/sr
NW04-34-13Dec06.doc



RESULTS OF P.B. MEETING OF: December 13, 2006

PROJECT: North Platte Dev. Co. P.B. # 04-34

LEAD AGENCY:

AUTHORIZE COORD. LETTER: Y N

TAKE LEAD AGENCY: Y N

M) S) VOTE: A N

CARRIED: Y N

NEGATIVE DEC:

MSH(S)M VOTE: A 5 N O

CARRIED: Y ☒ N

PUBLIC HEARING:

WAIVED: _____ CLOSED: _____

CLOSED: _____

M) _____ S) _____ VOTE: A _____ N _____ SCHEDULE P.H.: Y _____ N _____

SCHEDULE P.H.: Y_____N_____

SEND TO O.C. PLANNING: Y

SEND TO DEPT. OF TRANSPORTATION: Y

REFER TO Z.B.A.: M) S) VOTE: A N

RETURN TO WORK SHOP: Y__N__

APPROVAL:

M54(S)M VOTE: A 5 N 0

APPROVED: 12/13/06

NEED NEW PLANS: Y N

CONDITIONS - NOTES:

[illegible]

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 12/13/2006

PAGE: 1

LISTING OF PLANNING BOARD **AGENCY APPROVALS**

FOR PROJECT NUMBER: 4-34

NAME: RETAIL & OFFICE - NORTH PLANK DEVELOPMENT LLC
APPLICANT: NORTH PLANK DEVELOPMENT LLC

	DATE-SENT	AGENCY-----	DATE-RECD	RESPONSE-----
REV1	11/30/2006	MUNICIPAL HIGHWAY	/ /	
REV1	11/30/2006	MUNICIPAL WATER	/ /	
REV1	11/30/2006	MUNICIPAL SEWER	/ /	
REV1	11/30/2006	MUNICIPAL FIRE	12/06/2006	APPROVED
REV1	11/30/2006	NYSDOT	/ /	
ORIG	12/06/2004	MUNICIPAL HIGHWAY	11/30/2006	SUPERSEDED BY REV1
ORIG	12/06/2004	MUNICIPAL WATER	11/30/2006	SUPERSEDED BY REV1
ORIG	12/06/2004	MUNICIPAL SEWER	11/30/2006	SUPERSEDED BY REV1
ORIG	12/06/2004	MUNICIPAL FIRE	12/08/2004	APPROVED
		. NOTE: AS PER TOWN CODE, BOTH BUILDINGS WILL REQUIRE . SPRINKLER SYSTEMS AS THEY ARE OVER 5,000 SF.		
ORIG	12/06/2004	NYSDOT	11/30/2006	SUPERSEDED BY REV1

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 12/13/2006

PAGE: 1

LISTING OF PLANNING BOARD SEQRA ACTIONS

FOR PROJECT NUMBER: 4-34

NAME: RETAIL & OFFICE - NORTH PLANK DEVELOPMENT LLC

APPLICANT: NORTH PLANK DEVELOPMENT LLC

	DATE-SENT	ACTION-----	DATE-RECD	RESPONSE-----
ORIG	12/06/2004	EAF SUBMITTED	12/06/2004	WITH APPLIC
ORIG	12/06/2004	CIRCULATE TO INVOLVED AGENCIES . OC PLAN: LOCAL DETERMINATION	12/08/2004	AUTH LA LTR
ORIG	12/06/2004	LEAD AGENCY DECLARED	02/23/2005	TOOK LA
ORIG	12/06/2004	DECLARATION (POS/NEG)	/ /	
ORIG	12/06/2004	SCHEDULE PUBLIC HEARING . SCHED PH AFTER 30 DAYS LA LETTR	12/08/2004	SCHED PH
ORIG	12/06/2004	PUBLIC HEARING HELD	02/23/2005	CLOSED PH
ORIG	12/06/2004	WAIVE PUBLIC HEARING	/ /	
ORIG	12/06/2004	PRELIMINARY APPROVAL	/ /	
ORIG	12/06/2004		/ /	
ORIG	12/06/2004	LEAD AGENCY LETTER SENT	/ /	

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 12/13/2006

PAGE: 1

LISTING OF PLANNING BOARD ACTIONS

STAGE: STATUS [Open, Withd]
O [Disap, Appr]

FOR PROJECT NUMBER: 4-34

NAME: RETAIL & OFFICE - NORTH PLANK DEVELOPMENT LLC
APPLICANT: NORTH PLANK DEVELOPMENT LLC

--DATE--	MEETING-PURPOSE-----	ACTION-TAKEN-----
02/23/2005	P.B. - PUBLIC HEARING . SUBMIT TO OC.HEALTH DEPT - NEED WASTEWATER REPORT	LA: CL PH
12/08/2004	P.B. APPEARANCE . MOVE POLES AWAY FROM CURBS	LA LTR SCHED PH
11/30/2004	WORKSHOP APPEARANCE	SUBMIT

SUBMITTAL HISTORY FOR
PLANNING BOARD FILE #04-34

APPLICANT:NORTH PLANK DEV. - RT. 300

DATE RECEIVED: 11-30-06

ITEM RECEIVED: 2 - SWPPP ; 8 REVISED PLANS

DISTRIBUTION: 1 SWPPP TO MARK W/REVISED PLAN

RESULTS: _____

PUBLIC HEARINGS:

NORTH PLANK DEVELOPMENT CO. (04-34)

Mr. Gregory Shaw of Shaw Engineering appeared before the board for this proposal.

MR. PETRO: Under public hearing, we have North Plank Development Company represented by Mr. Shaw. This is proposed two new buildings for office and retail use. The application proposes development of 7,200 square feet and 10,200 square feet building for retail and office use on a 3 acre parcel. Plan was previously reviewed at the 8 December, 2004 planning board meeting. The application is here tonight for a public hearing. For the minutes, I want to state that one of my partners in one of my companies owns this project but I have absolutely nothing to do with it in any manner or any shape or form so therefore, I'll continue to run the meeting. Proceed.

MR. SHAW: Thank you, Mr. Chairman.

MR. PETRO: Turn it to me first, Greg.

MR. SHAW: As you stated earlier, this is a commercial parcel located on the west side of Temple Hill Road, it's 3 acres in size and it's geometric shape is about 200 feet wide by an average of 650 feet deep, butts up against the existing railroad lines of formally Conrail Rail Lines. What we're proposing to install is two commercial buildings, one close to Temple Hill Road, the 7,200 square feet and the second building most remote from Temple Hill Road is 10,200 square feet. The site will be serviced by a new highway entrance off Temple Hill Road. We will need DOT approval for that highway entrance. Both buildings will be connected to the Town of New Windsor water and sanitary sewer system. We'll be bringing in lines into the interior of the building, not only for water service but also

for hydrants and for the sprinkler system. All of the storm drainage drains from the highway towards the rear of the property, and you will notice in the back low portion of the property we have placed our storm water management facilities there to collect and retain the storm water and treat it accordingly. The site has parking which is consistent with the zoning. We have incorporated into the design refuse enclosures to the Town of New Windsor standards and also the site will have adequate lighting throughout, and landscaping and all that information is on record with the board. So that's a brief overview, Mr. Chairman, I will be happy to answer your questions or any question from the audience.

MR. PETRO: Make a couple corrections in the bulk table, do you have a copy of his notes?

MR. SHAW: No, I don't.

MR. PETRO: Very minor in nature but they have to be addressed, just in developmental coverage. Mark, go over with the parking concerns, why don't you just do that?

MR. EDSALL: There were a couple areas that I'm just concerned about cars being in the exposed end where there's not an island, I know we talked about eliminating some of them but I think all the islands are eliminated at this point. I don't think that's a safe way to have the vehicles but it ultimately will be up to the board but I wanted to discuss some of the locations with Greg at the workshop.

MR. SHAW: Yeah, we spoke about that at the previous meeting, it really comes down to the areas which I have striped which are not curbed islands which are east for snow plowing, okay, versus removing the striping and putting in curbing with a planter area which gives the adjacent cars some protection but at the same point in

time becomes more of a maintenance issue during the wintertime for snow plowing and you just touched on it briefly, I don't believe you made a decision as to what was your preference.

MR. PETRO: I think that I had the preference to leave them crosshatched but Mark had a question to have some curbed but not really a hundred percent.

MR. EDSALL: On the rear building you've got two curbed projections sticking out, already to me those create more of a nuisance being in the middle of the parking area than having them at the ends and creating a long pocketed area so you have in one location but not others. So I figured Greg and I would just try to look at it and figure out where they made the most sense.

MR. SHAW: That's fine, Mr. Chairman, we can address that in the workshop.

MR. SCHLESINGER: You have a dumpster?

MR. SHAW: We have two enclosures. For building number one, we have an enclosure here and building number two, I have an enclosure over here.

MR. PETRO: Did we get a response for lead agency.

MS. MASON: Nothing.

MR. ARGENTIO: I'll make the motion for lead agency.

MR. SCHLESINGER: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board declare itself lead agency for the North Plank Development LLC site plan on Route 207 Temple Hill Road. Any further discussion from the board members? If not, roll call.

ROLL CALL

MR. SCHLESINGER	AYE
MR. MASON	AYE
MR. MINUTA	AYE
MR. ARGENIO	AYE
MR. PETRO	AYE

MR. PETRO: We did refer this to Orange County Planning Department, any response yet?

MS. MASON: No.

MR. PETRO: Has it been 30 days?

MS. MASON: No.

MR. PETRO: This application was forwarded to New York State DOT waiting for comment from them, response is pending. Mark, number 6, let's talk about that just for a minute, OCDOH for the water lines, is that necessary? Why do we have to do that for a commercial site here?

MR. EDSALL: Unless Greg can get a determination, otherwise the Health Department years ago made a determination and if there was more than one building with more than one use in the complex it would require submittal to the department. One of the first times it happened was with Blockbuster Video and the muffler shop.

MR. SHAW: Very good memory.

MR. EDSALL: They out of the blue decided it was subject to their review.

MR. PETRO: I don't remember that, I know you're saying it and I believe it to be true.

MR. EDSALL: Greg and I remember it because we both cringed and we haven't had a determination in the other direction yet.

MR. PETRO: I would suggest that he contact them because you have more than one building and certainly going to have more than one user.

MR. SHAW: I think not then I'm going to the health department.

MR. BABCOCK: Can I ask you a question while we're on the water, the two inch domestic service, is there away of shutting that off by itself and not shutting the sprinkler main off that's the two different valves?

MR. SHAW: Yes.

MR. BABCOCK: Okay.

MR. PETRO: In December the storm water pollution prevention would need to be addressed, do you want to go over that with us?

MR. SHAW: Well, I have to prepare a storm water pollution prevention plan in accordance with your new local law, but as I said, all the storm water is going to be moving from Temple Hill Road in a westerly direction towards the railroad tracks as it presently does. We will not be connecting at all into the state discharge system. What we're proposing is a detention facility in the rear of the property which will be consistent with the new storm water regulations. We will be working in some water treatment measures along with it and the culmination that will be the preparation of a report to this board, I believe that's now a requirement for site plan approval.

MR. PETRO: So you're in the process of doing that?

MR. SHAW: Yes, in the process of doing that.

MR. PETRO: When was the notice of public hearing mailed? Fourth day of February 2005, 11 addressed envelopes containing the public hearing notice were mailed. If someone is here who'd like to speak for or against or just make comment for this application be recognized now by the chair, come forward with your name and address and your concerns. Would anyone like to speak?

MR. ARGENIO: Inasmuch as nobody has raised their hand, expressed an interest in commenting on this application I make a motion we close the public hearing.

MR. SCHLESINGER: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board close the public hearing for the North Plank Development LLC site plan on Route 300. Any further comments from the board members? If not, roll call.

ROLL CALL

MR. SCHLESINGER	AYE
MR. MASON	AYE
MR. MINUTA	AYE
MR. ARGENIO	AYE
MR. PETRO	AYE

MR. PETRO: At this time, I will open it back up to the board members for any comment. Mark, what else do we have for Greg that we really need to go over?

MR. EDSALL: Nothing. As Greg indicated, these issues are being revolved, I don't see any problem proceeding.

MR. PETRO: We took lead agency, we're waiting back for Orange County Planning, we're waiting from DOT and you

February 23, 2005

8

contact the Board of Health.

MR. SHAW: Correct, so I think we've gone as far as we can go tonight. Thank you.

MR. PETRO: Thank you.



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.**

RICHARD D. MCGOEY, P.E. (NY & PA)

WILLIAM J. HAUSER, P.E. (NY & NJ)

MARK J. EDSALL, P.E. (NY, NJ & PA)

JAMES M. FARR, P.E. (NY & PA)

MAIN OFFICE

33 AIRPORT CENTER DRIVE

SUITE 202

NEW WINDSOR, NEW YORK 12553

(845) 567-3100

FAX: (845) 567-3232

E-MAIL: MHENT@MHEPC.COM

WRITER'S E-MAIL ADDRESS:

MJE@MHEPC.COM

**TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS**

PROJECT NAME: NORTH PLANK DEVELOPMENT LLC SITE PLAN
(PROPOSED RETAIL & OFFICE BUILDINGS)
PROJECT LOCATION: WEST SIDE TEMPLE HILL RD. (NYS RT. 300)(FREEDOM RD.)
SECTION 68 – BLOCK 2 – LOT 12.22
PROJECT NUMBER: 04-34
DATE: 23 FEBRUARY 2005
DESCRIPTION: THE APPLICATION PROPOSES THE DEVELOPMENT OF 7200 S.F.
AND 10,200 S.F. BUILDINGS FOR RETAIL AND OFFICE USE ON THE
3+ ACRE PARCEL. THE PLAN WAS PREVIOUSLY REVIEWED AT
THE 8 DECEMBER 2004 PLANNING BOARD MEETING. THE
APPLICATION IS BEFORE THE BOARD FOR A PUBLIC HEARING AT
THIS MEETING.

1. The property is located in the C zoning district of the Town. The proposed uses are uses A-1 and A-3 of the bulk tables, respectively. The bulk table shown appears correct for the zone and use, with the exception of Development Coverage, which (as previously noted) should be a maximum of 85%. *Please fix this on the table.*

The “provided” values appear correct, with the exception of the street frontage, which (as previously noted) should match the value shown with the front line metes and bounds. Also, (as previously noted) a value should be indicated for development coverage. *Please make these corrections on the bulk table.*

A parking table is provided. The calculation is correct for the areas and code requirement. Adequate parking is provided.

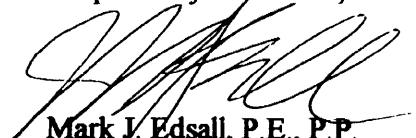
2. In my previous comments, I noted several concerns regarding parking layout and finish in the parking area, as well as noting some concerns regarding details of construction. *These concerns have not been addressed.* The applicant’s consultant should schedule a worksession meeting.

REGIONAL OFFICES

• 507 BROAD STREET • MILFORD, PENNSYLVANIA 18337 • 570-296-2765 •
• 540 BROADWAY • MONTICELLO, NEW YORK 12701 • 845-794-3399 •

3. The Planning Board issued a Lead Agency coordination letter on 1-10-05. If appropriate based on the responses, the Board may wish to formally assume the position of lead agency under the SEQRA review process at this time.
4. As per New York State General Municipal Law (GML 239), this application has been referred to the OCPD for review. A response is pending.
5. This application was forwarded to the NYSDOT for review and comment. A response is pending.
6. The Board should discuss, with the applicant, the status (or need for) of the application to the OCDOH for approval of the watermain serving the buildings.
7. In December we requested that Stormwater Pollution Prevention be addressed. The applicant should advise the Board on the status of this item.

Respectfully Submitted,



Mark J. Edsall, P.E., P.P.
Planning Board Engineer

MJE/st
NW04-34-23Feb05.doc

04-34



COUNTY OF ORANGE

DEPARTMENT OF PLANNING

EDWARD A. DIANA
COUNTY EXECUTIVE

124 MAIN STREET
GOSHEN, NEW YORK 10924-2124
TEL: (845)291-2318 FAX: (845)291-2533
www.orangecountygov.com
planning@co.orange.ny.us

DAVID E. CHURCH, AICP
COMMISSIONER

ORANGE COUNTY DEPARTMENT OF PLANNING 239 L, M OR N REPORT

This proposed action is being reviewed as an aid in coordinating such action between and among governmental agencies by bringing pertinent inter-community and countywide considerations to the attention of the municipal agency having jurisdiction.

Referred by: New Windsor Town PB

Reference No.: NWT05-05M

Parcel I.D.: 68-2-12.22

Applicant: North Plank Development

Proposed Action Site Plan

State, County, Inter-municipal Basis for Review: Within 500 ft of NYS RT 300

Comments: The Department has received the above site plan, and offer the following:

- The activity will have no major impact upon State or County facilities nor have any significant inter-municipal issues.
- It is also consistent with the County Comprehensive Plan and local laws.
- Having no further comments, from a County perspective, the Department has no further comments and recommends that the Planning Board proceed with its decision-making review process.

Related Reviews and Permits:

County Action:

Local Determination

Disapproved

Approved

Approved subject to the following modifications and/or conditions:

Date: March 2, 2005

Reviewed By: Kathy V. Murphy, Planner

Commissioner of Planning

CC:ME



RESULTS OF P.B. MEETING OF: February 23, 2005

PROJECT: North Platte Dec. - Site Plan P.B. # 04-34

PUBLIC HEARING

LEAD AGENCY:

NEGATIVE DEC:

AUTHORIZE COORD. LETTER: Y N

M) S) VOTE: A N

TAKE LEAD AGENCY: Y ☒ N ☐

CARRIED: Y_____N_____

M) A S) 5 VOTE: A 5 N 0

CARRIED: Y ☒ N ☐

PUBLIC HEARING: _____ **WAIVED:** _____ **CLOSED:** ☒

M) A S) S VOTE: A 5 N 0 SCHEDULE P.H.: Y N

SEND TO O.C. PLANNING: Y

SEND TO DEPT. OF TRANSPORTATION: Y

REFER TO Z.B.A.: M) S) VOTE: A N

RETURN TO WORK SHOP: Y N

APPROVAL:

M) S) VOTE: A N APPROVED: _____

NEED NEW PLANS: Y N

CONDITIONS - NOTES:

To be submitted to O.C. Health Dept.

Need Waste Water report

NORTH PLANK DEVELOPMENT LLC SITE PLAN (04-34)

Mr. Gregory Shaw from Shaw Engineering appeared before the board for this proposal.

MR. PETRO: North Plank Road, proposed site plan for new building construction. Fran, I am not involved in this application, although the principle of North Plank is one of my business associates, I have no affiliation with this company whatsoever. I want to get that in the minutes. So I will sit here and run the meeting.

MR. SHAW: Thank you, Mr. Chairman. Very briefly the parcel is on the west side of Temple Hill Road just north of the Five Corners, it's more situated between Strober King and also the Orange County Ironworks. It's a 3.0 acre parcel located in the C zone. We comply with all aspects with respect to your zoning with the site plan that's before you and as you mentioned we're providing, we're proposing two buildings on this site, the first building which is closest to Temple Hill Road will be 7,200 square feet and the building furthest removed will be 10,200 square feet. We will need a highway entrance permit from the New York State Department of Transportation, that's also Route 300. The plans that have been submitted to the board are complete with respect to all the utilities, landscaping, lighting, erosion control. In the rear of the property we have constructed a considerable storm water management facility to mitigate the impacts from the increasing of the site and to an impervious surface. So very briefly, that's an overview and I will answer any questions you may.

MR. PETRO: I'm going to go right to one that Mark made and I think Mark you're just bringing this up, you're not really suggesting either way cause I kind of like the way he's drawn this with cross hatches, I'll tell you one main reason is snow plowing when you put the concrete that this one by building 2 in the back this

cross hatch that's sticking out in the middle of nowhere and you just make a concrete bumper, remember the one down here by the school everybody kept hitting, well, you see all the cross hatches on the plan.

MR. ARGENIO: Item 2 built one.

MR. PETRO: Mark is saying neighbor they should be made out of concrete, I don't think you're insisting.

MR. EDSALL: There's pros and cons, the advantage of it it creates a pocket where the cars park separate or isolate pedestrians or cars from through traffic or trucks whatever maybe coming to the site every time it snows that idea goes right in the trash basket.

MR. PETRO: Just from just a practical one see the one over here on the north would be better possibly if you are going to do that but this one stick out in the middle of nowhere, Ron, don't you remember we had down here by the school that concrete thing was out there and everybody kept having accidents, it was just sticking in the middle of nowhere, that's my idea.

MR. ARGENIO: My wife would drive over them in concrete during the day.

MR. EDSALL: I'll send her a copy of the minutes.

MR. ARGENIO: I think it's a good idea.

MR. PETRO: Any woman would. I'm only kidding, girls. All right, on to something more serious. I recommend that the connection to the sewer line to the Town system be within a manhole rather than a saddle.

MR. LANDER: Is this the area where they're clearing already?

MR. SHAW: There's two areas on Temple Hill Road, this

again as I said is by Strober King and the Ironworks, there's another parcel closer to Vails Gate which is substantially larger in size.

MR. ARGENIO: They're clearing one directly adjacent to Price Chopper, this isn't that one, this is the next one.

MR. PETRO: There's a 12 acre parcel.

MR. SCHLESINGER: They're working and clearing the land.

MR. PETRO: No, this is not the one, this is by Tuttle's big metal building that looks like it needs to be painted, then you go down a little further, it's the big one by Price Chopper.

MR. ARGENIO: It's not the one next to Price Chopper, it's the next one to the north.

MR. PETRO: This is a much smaller lot. Okay, next?

MR. EDSALL: Are you going to need a permit from DOT or existing access?

MR. SHAW: No.

MR. EDSALL: Then I think that comment 4 is correct, that we should eliminate 3.

MR. PETRO: We're going to take a motion to issue a lead agency coordination letter.

MR. ARGENIO: I'll make that motion we issue lead agency coordination letter.

MR. LANDER: Second it.

MR. PETRO: Motion has been made and seconded that the

New Windsor Planning Board issue a lead agency coordination letter for the North Plank Development LLC site plan. Any further discussion from the board members? If not, roll call.

ROLL CALL

MR. KARNAVEZOS	AYE
MR. SCHLESINGER	AYE
MR. LANDER	AYE
MR. ARGENIO	AYE
MR. PETRO	AYE

MR. PETRO: Applicant should check with the water department to determine if a wet tap is necessary. Storm water pollution prevention plan should be submitted for review, I guess you have a system here.

MR. ARGENIO: Can I ask one question? Do you review that or does that go right to DEC?

MR. EDSALL: We'll review that, Pat Hines reviews it, does not have to go to DEC.

MR. ARGENIO: It does not have to go to DEC.

MR. EDSALL: I believe the site this size is reviewed locally.

MR. PETRO: Why do you give me that look?

MR. SHAW: I think Mark is correct.

MR. ARGENIO: Mr. Shaw, I don't know if he is or isn't, in my mind, I want to be clear that's all there is, no need to go any further.

MR. PETRO: We have municipal fire was approved on 12/8/2004 and he has a note which states the obvious that per Town Code both buildings will be sprinklered.

MR. SHAW: Absolutely.

MR. PETRO: Planning board should determine for the record this a public hearing being required, I will state right now that it will be and we will have a public hearing, I think the plan looks pretty good so we can schedule that once lead agency comes back.

MR. EDSALL: Why don't you authorize it?

MR. PETRO: We'll authorize it. Motion to authorize public hearing.

MR. ARGENIO: So moved.

MR. LANDER: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning board have a public hearing, authorize a public hearing for the North Plank Development LLC site plan. Any further discussion from the board members? If not, roll call.

ROLL CALL

MR. KARNAVEZOS	AYE
MR. SCHLESINGER	AYE
MR. LANDER	AYE
MR. ARGENIO	AYE
MR. PETRO	AYE

MR. PETRO: Submittal of the application to New York State DOT will be required to the curb cut access, the applicant's engineer should verify whether the plans request OCDOH for the water main serving the buildings it has to go to Orange County Planning as of September 1, 2004 so we can send the plan off to there. Mark, can that go directly to Orange County Planning or wait for lead agency?

MR. EDSALL: No, Myra and I will send that out.

MR. PETRO: Let's go back to the site plan before we pack it up, the drainage, Greg, I want you to go over the drainage, I know you have a retention pond in the back of the property, you have a culvert system, I know you're going to submit a plan to Mark, I just want to know where the water's going myself.

MR. SHAW: Right now, all water flows to the west towards the railroad tracks of Conrail or New York Central lines as they're called on the plan. No storm water flows to the east onto the highway, so what happens is the water basically flows and it sits along the side of the railroad track, works its way down the track then it creases through a culvert under the tracks, keeps moving in a westerly direction. In post-development conditions, the water's going to have the same flow pattern except with us generating a lot of impervious area with respect to building and paving we have created a storm water management facility in the rear of the property which is going to collect the storm water and again let it flow from the site in a detained state where it does not exceed pre-development flows.

MR. PETRO: You have a fence I see, right?

MR. SHAW: Yes, we have a fence around it also.

MR. PETRO: Lighting?

MR. SHAW: There's a lighting plan included in the drawings and I believe--

MR. PETRO: Wall packs on the building and freestanding on sides.

MR. SHAW: Correct, you'll see even on the site plan

wall packs on the buildings, as you mentioned, and also in the individual poles.

MR. PETRO: Move them away from the curbs I would say 3 feet because they'll all be knocked over after the first winter, don't put them on the curb like that then you have the dumpster detail on the side. I have some that are three or four feet and they're still knocked.

MR. ARGENIO: I've knocked some of your poles over.

MR. EDSALL: Probably when you're snow plowing.

MR. ARGENIO: I have.

MR. PETRO: The dumpster detail's probably on the sheet somewhere and material is what, same material as the building?

MR. SHAW: Yes, masonry.

MR. PETRO: Is there two of them?

MR. SHAW: Yes.

MR. ARGENIO: What size is the sewer line discharge, six inch, I see.

MR. PETRO: You have eight foot wide concrete walk around the building, Ron, you should like that.

MR. LANDER: Very good. Are you going to have a drop curb in front of the handicapped access in the front?

MR. SHAW: What we're going to have is a ramp going up from the striped area to the sidewalk, the sidewalk--

MR. LANDER: Why won't you have the handicapped, you don't very enough room for the dropped curb for the handicapped access, no?

MR. BABCOCK: Start having problems with the cross slopes.

MR. SHAW: Thank you.

MR. BABCOCK: I like this, I know you don't like it for snow removing but it's--

MR. PETRO: Greg, you draw one of the few plans there's not much to look at.

MR. SHAW: Thank you. Can we get rid of some comments though?

MR. PETRO: No.

MR. SHAW: Okay, thank you.



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.**

RICHARD D. McGOEY, P.E. (NY & PA)

WILLIAM J. HAUSER, P.E. (NY & NJ)

MARK J. EDSALL, P.E. (NY, NJ & PA)

JAMES M. FARR, P.E. (NY & PA)

MAIN OFFICE

33 AIRPORT CENTER DRIVE

SUITE 202

NEW WINDSOR, NEW YORK 12553

(845) 567-3100

FAX: (845) 567-3232

E-MAIL: MHENTY@MHEPC.COM

WRITER'S E-MAIL ADDRESS:

NJE@MHEPC.COM

**TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS**

PROJECT NAME: NORTH PLANK DEVELOPMENT LLC SITE PLAN
(PROPOSED RETAIL & OFFICE BUILDINGS)
PROJECT LOCATION: WEST SIDE TEMPLE HILL RD. (NYS RT. 300)(FREEDOM RD.)
SECTION 68 – BLOCK 2 – LOT 12.22
PROJECT NUMBER: 04-34
DATE: 8 DECEMBER 2004
DESCRIPTION: THE APPLICATION PROPOSES THE DEVELOPMENT OF 7200 S.F.
AND 10,200 S.F. BUILDINGS FOR RETAIL AND OFFICE USE ON THE
3+ ACRE PARCEL. THE PLAN WAS REVIEWED ON A CONCEPT
BASIS ONLY.

1. The property is located in the C zoning district of the Town. The proposed uses are uses A-1 and A-3 of the bulk tables, respectively. The bulk table shown appears correct for the zone and use, with the exception of Development Coverage, which should be a maximum of 85%.

The “provided” values appear correct, with the exception of the street frontage, which should match the value shown with the front line metes and bounds. Also, a value should be indicated for development coverage.

A parking table is provided. The calculation is correct for the areas and code requirement. Adequate parking is provided.

No variances appear necessary for this application.

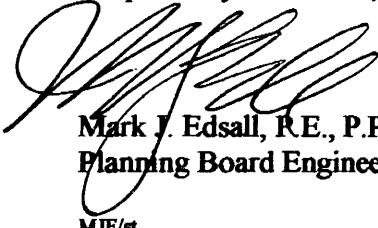
2. I have reviewed the plan in concept and have some initial comments as follows:
 - Some interior areas have cross-hatched islands rather than concrete islands, which provide better channelization and separation between adjacent vehicles and areas. I am concerned about six (6) locations. Further review should be made in these areas.
 - I recommend that the connection of the sewer line to the Town system be with a manhole rather than a saddle.

REGIONAL OFFICES

• 507 BROAD STREET • MILFORD, PENNSYLVANIA 18337 • 570-296-2765 •
• 540 BROADWAY • MONTICELLO, NEW YORK 12701 • 845-794-3399 •

- The applicant should check with the water department to determine if a wet tap is necessary or if a cut-in installation is possible.
 - A Stormwater Pollution Prevention Plan (SPPP) should be submitted for review.
3. The Planning Board may wish to assume the position of Lead Agency under the SEQRA review process.
 4. The Planning Board may wish to authorize the issuance of a Lead Agency Coordination letter for the project, to begin the SEQRA review process. The applicant should submit six (6) sets of drawings and the environmental form for this purpose.
 5. The Planning Board should determine, for the record, if a Public Hearing will be required for this Site Plan, per its discretionary judgment under Paragraph 300-86 (C) of the Town Zoning Local Law.
 6. Effective September 1, 2004, the Orange County Planning Department resumed review of all projects and actions that meet the requirements of New York State General Municipal Law (GML 239). Effectively, all projects within 500-foot distance requirements of the State statute (to municipal boundaries; county or state park; county or state highway; county drainage channel or right-of-way; county or state property with a building; or farm operation in an agricultural district) must again be referred to the OCPD for review.
 7. Submittal of this application/plan to the NYSDOT will be required for the curb cut access to the State Highway. The applicant's engineer should verify whether the plan requires OCDOH approval for the watermain serving the buildings.

Respectfully Submitted,



Mark J. Edsall, R.E., P.P.
Planning Board Engineer

MJE/st
NW04-34-08Dec04.doc

-----X

NORTH PLANK DEVELOPMENT CO. P. B. #04-34


AFFIDAVIT OF SERVICE BY MAIL

MYRA L. MASON, being duly sworn, deposes and says:

That on the **4TH** day of FEBRUARY, 2005, I compared the 11 addressed envelopes containing the Public Hearing Notice pertinent to this case with the certified list provided by the Assessor's Office regarding the above application for site plan/subdivision/special permit/lot line change approval and I find that the addresses are identical to the list received. I then placed the envelopes in a U.S. Depository within the Town of New Windsor.

Myra L. Mason
Myra L. Mason, Secretary

4th day of February, 2005


Notary Public

JENNIFER MEAD
Notary Public, State Of New York
No. 01ME6050024
Qualified In Orange County
Commission Expires 10/30/2006

LEGAL NOTICE

NOTICE IS HEREBY GIVEN that the PLANNING BOARD of the TOWN OF NEW WINDSOR, County of Orange, State of New York will hold a PUBLIC HEARING at Town Hall, 555 Union Avenue, New Windsor, New York on **February 23, 2005** at 7:30 P.M. on the approval of the proposed Site Plan for **NORTH PLANK DEVELOPMENT COMPANY - 2 NEW OFFICE/RETAIL BUILDINGS**

Located at **Temple Hill Road** (Tax Map #Section **68**, Block **2**, Lot **12.22**) .

Map of the proposed project is on file and may be inspected at the **Planning Board Office**, Town Hall, 555 Union Avenue, New Windsor, NY prior to the Public Hearing.

Date: January 27, 2005

By Order of

TOWN OF NEW WINDSOR PLANNING BOARD

James R. Petro, Jr., Chairman

TRANSMITTAL SHEET FOR:

TOWN OF NEW WINDSOR
PLANNING BOARD

MYRA MASON, SECRETARY
E-MAIL: mmason@town.new-windsor.ny.us
(845) 563-4615
FAX: (845) 563-4695

TO: TIMES HERALD RECORD – LEGAL ADS (PATRICIA FODDRILL)

FROM: MYRA MASON, SECRETARY TO THE ZONING BOARD

DATE: FEBRUARY 3, 2005

SUBJECT: PUBLIC HEARING NOTICE P.B. #04-34

PLEASE PUBLISH THE ATTACHED NOTICE OF PUBLIC HEARING IN YOUR

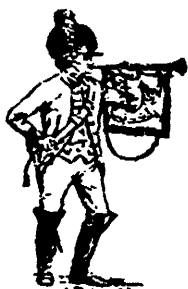
FEBRUARY 8TH, 2005 ISSUE OF THE TIMES HERALD RECORD.

IN LIGHT OF THE FACT THAT WE MUST COLLECT THE COST OF THE AD FROM THE APPLICANT, PLEASE ADVISE AS TO ANY CHARGES BEING BILLED TO THE TOWN OF NEW WINDSOR FOR THIS AD AS SOON AS POSSIBLE.

IF YOU HAVE ANY QUESTIONS, PLEASE CONTACT ME AT THE ABOVE PHONE NUMBER.

THANK YOU,

MYRA MASON



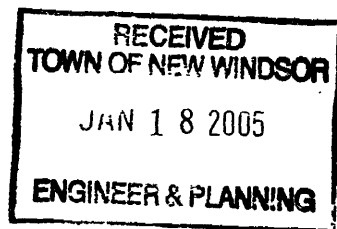
Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4631
Fax: (845) 563-4693

Assessors Office

January 14, 2005

Shaw Engineering
744 Broadway
Newburgh, NY 12550



RE: 68-2-12.22 (11)

To Whom It May Concern:

According to our records, the attached list of property owners are across the street or abutting the above referenced property.

The charge for this service is \$35.00 , minus your deposit of \$25.00.

Please remit the balance of \$10.00 to the Town Clerk's Office.

Sincerely,

J. Todd Wiley (baw)

J. Todd Wiley, IAO
Sole Assessor

JTW/baw
Attachments

CC: Myra Mason, Planning Board

68-2-8.2
New York Central Lines, LLC
c/o CSX
500 Water Street (J-910)
Jacksonville, FL 32202

Mark J. Edsall, P.E.
McGoey and Hauser
Consulting Engineers, P.C.
33 Airport Center Dr. Suite 202
New Windsor, NY 12553

68-2-11.12
Fall Fittings Inc.
380 Route 208
New Paltz, NY 12561

68-2-12.11
Sy Realty Corporation
135 Pinetree Road
Monroe, NY 10950

68-3-5
Sheafe Wayland H & Joy C
1661 Little Britain Road
Rock Tavern, NY 12575

68-3-7.12
Walter & Louella Nichols
P.O. Box 579
Vails Gate, NY 12584

68-3-11.1
Strategic Office, LLC
P.O. Box 522
Vails Gate, NY 12584

George J. Meyers, Supervisor
Town of New Windsor
555 Union Ave
New Windsor, NY 12553

Deborah Green, Town Clerk
Town of New Windsor
555 Union Ave
New Windsor, NY 12553

Andrew Krieger, ESQ.
219 Quassaick Ave
New Windsor, NY 12553

James Petro, Chairman
Planning Board
555 Union Ave
New Windsor, NY 12553

TIMES HERALD-RECORD

40 Mulberry Street, Middletown, NY 10940

State of New York:

County of Orange: ss:

Patricia Foddrill

Being duly sworn deposes and says that the ORANGE COUNTY PUBLICATIONS Division of Ottaway Newspapers-Radio, Inc. is a corporation organized under the laws of the State of New York and is, at all the times hereinafter mentioned, was the printer and publisher of The Times Herald-Record, a daily newspaper distributed in the Orange, Ulster, Rockland, Dutchess, Pike, PA, Delaware and Sullivan Counties, published in the English language in the City of Middletown, County of Orange, State of New York, that despondent is the

Legal Sales Representative

of said The Times Herald-Record acquainted with the facts hereinafter stated, and duly authorized by said Corporation to make this affidavit; that the

Legal Notice

a true printed copy of which is hereunto annexed, has been duly and regularly published in the manner required by law in said The Times Herald-Record in each of its issues published upon each of the following dates, to wit: In its issues of

2/8/05

Signature of Representative:

Patricia Foddrill

Sworn in before me this

8

Day of

Feb

2005

Christine M. Durkee

Notary Public, Orange County



TOWN OF NEW WINDSOR
LEGAL NOTICE

NOTICE IS HEREBY GIVEN that the PLANNING BOARD of the TOWN OF NEW WINDSOR, County of Orange, State of New York will hold a PUBLIC HEARING at Town Hall, 555 Union Avenue, New Windsor, New York on February 23, 2005 at 7:30 P.M. on the approval of the proposed Site Plan for:

NORTH PLANK DEVELOPMENT COMPANY - 2
NEW OFFICE / RETAIL BUILDINGS Located at Temple Hill Road (Tax Map #Section 68, Block 2, Lot 12.22). Map of the proposed project is on file and may be inspected at the Planning Board Office, Town Hall, 555 Union Avenue, New Windsor, NY prior to the Public Hearing.

Date: January 27, 2005

BY ORDER OF
TOWN OF NEW WINDSOR
PLANNING BOARD
JAMES R. PETRO, JR.,
CHAIRMAN

Ad Number: 1729762 Advertiser: NEW WINDSOR, TOWN

Phone: 8455634615 Sys No: 1194114 Caller: MYRA MASON

INVOKING CUSTOMER:

Phone: 8455634615 Sys No: 1194114 AcctNo: P.O. No:

Name: NEW WINDSOR, TOWN Subscriber:

Address: ZONING AND PLANNING

555 UNION AVENUE

NEW WINDSOR NY 12553

ORDER:

Printed By: THRFODRIL Date: 02/04/2005 Assigned Sales: TOWNOFNEWWINDSOR LEGALNOTICE NOTICE SH AdType: LINER Order Type: NORMAL

Manual Delay: Box No: Call Back: Y

NOTES:

Change Reason:

INSERTION:

Product: THH Paper: TH Class: 999X; LEGAL BILLING

Schedule: Start Date - 02/08/2005 End Date - 02/08/2005

Sort: TOWN OF NEW WINDSORLEGAL NOTICE NOTICE IS

PRODUCTION:

Text Size: 2 x 25.00 ProdType: ENTERPRISE ColorNo: 0 Colors:

Tearsheets: 1 Proofs: 0 Affidavits: 1 Alt Addr: N

PRICING:

Price: 44.75 Payment Method: BI Amount Paid: 0 Amount Owed: 44.75

PriceMethod: 0 (0=Normal, 1=User Net, 2=System Gross) Rate Code: LEL

For fields listed below 0 = NO 1 = YES

Till Forbid: 0 Mult. Content: 0

TOWN OF NEW WINDSOR
LEGAL NOTICE

NOTICE IS HEREBY GIVEN that the PLANNING BOARD of the TOWN OF NEW WINDSOR, County of Orange, State of New York will hold a PUBLIC HEARING at Town Hall, 555 Union Avenue, New Windsor, New York on February 23, 2005 at 7:30 P.M. on the approval of the proposed Site Plan for:

P & J PROPERTIES, LLC (04-33) Located at MERTES LANE - NEW WINDSOR, NEW YORK. (Tax Map # Section 68, Block 1, Lot 7.1, 4, 5, & 10) . Map of the proposed project is on file and may be inspected at the Planning Board Office, Town Hall, 555 Union Avenue, New Windsor, NY prior to the Public Hearing.

Date: January 27, 2005

BY ORDER OF
TOWN OF NEW WINDSOR
PLANNING BOARD
JAMES R. PETRO, JR.,
CHAIRMAN

Ad Number: 1729782 Advertiser: NEW WINDSOR, TOWN

Phone: 8455634615 Sys No: 1194114 Caller: MYRA MASON

INVOKING CUSTOMER:

Phone: 8455634615 Sys No: 1194114 AcctNo: P.O. No:

Name: NEW WINDSOR, TOWN Subscriber:

Address: ZONING AND PLANNING

555 UNION AVENUE

NEW WINDSOR NY 12553

ORDER:

Printed By: THRFODRIL Date: 02/04/2005 Assigned Sales: TOWNOFNEWWINDSOR LEGALNOTICE NOTICEISH AdType: LINER Order Type: NORMAL

Manual Delay: Box No: Call Back: Y

NOTES:

Change Reason:

INSERTION:

Product: THI Paper: IN Class: 999X

Schedule: Start Date - 02/08/2005 End Date - 02/08/2005

Sort: TOWN OF NEW WINDSORLEGAL NOTICE NOTICE IS

PRODUCTION:

Text Size: 2 x 25.00 ProdType: ENTERPRISE ColorNo: 0 Colors:

Tearsheets: 1 Proofs: 0 Affidavits: 1 Alt Addr: N

PRICING:

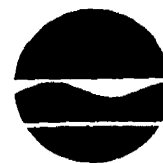
Price: 44.75 Payment Method: BI Amount Paid: 0 Amount Owed: 44.75

PriceMethod: 0 (0=Normal, 1=User Net, 2=System Gross) Rate Code: LEL

For fields listed below 0 = NO 1 = YES

Till Forbid: 0 Multi Content: 0

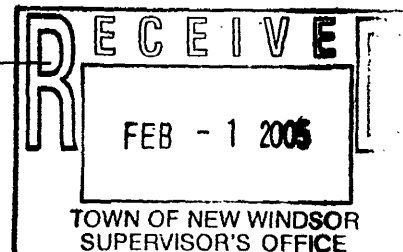
New York State Department of Environmental Conservation
Division of Environmental Permits, Region 3
21 South Putt Corners Road, New Paltz, New York 12561-1696
Phone: (845) 256-3054 FAX: (845) 255-3042
Website: www.dec.state.ny.us



Erin M. Crotty
Commissioner

ATTN: _____
— TOWN HALL OF NEW WINDSOR —
— 555 UNION AVENUE —
— NEW WINDSOR, NY 12553 —
— lulllullullullullull —

1-28-05



RE: Lead Agency Coordination Response

Project: New Retail Office Bldg. for North Plank

Town: New Windsor County: Orange

We have reviewed the SEQR lead agency coordination request for the above referenced project, which our office received on 1-14-05. Based on our review of the circulated documents, and any additional information that we may have requested, DEC has no project-specific permit jurisdiction for this action. Consequently, the Department is not an involved agency for this proposal and has no objection to your board/agency serving as lead agency.

Additional Comments

In addition to the comments noted above, please be advised of the those issues indicated below by a checked box:

☒ **Stormwater Management:** Please note that stormwater discharges that result from construction projects involving the disturbance of 1 or more acres of land now require coverage under the Department's "State Pollutant Discharge Elimination System (SPDES) General Permit for Stormwater Discharges from Construction Activities". If the sponsor believes their project would be covered under this SPDES General Permit and does not require any other DEC permits, they may apply for coverage by filing a "Notice of Intent" form with DEC, Division of Water, 625 Broadway, Albany NY 12233-3505, (form and permit available from this office or DEC Website at www.dec.state.ny.us/website/dow/mainpag.htm).

☐ **Threatened & Endangered Species:** According to Department records, the following state-listed threatened or endangered species has(have) been recorded within or near the project site:

Species: _____ NYS Status: _____

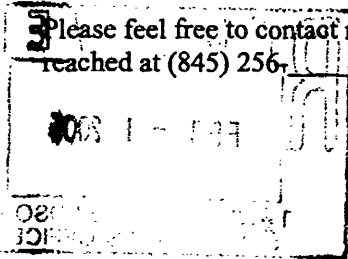
Species: _____ NYS Status: _____

The potential impacts of the proposed project on this(these) species may require evaluation during the review of the project pursuant to SEQR. For further guidance on this matter, the project sponsor may contact Mr. Steven Joule in the DEC Division of Fish and Wildlife at (845) 256-3089 concerning animal species, and Mr. Jeffrey Wiegert in the DEC Division of Lands and Forests at (845) 256-3111 concerning plant species.

☐ **Other:** _____

SEQR Lead Agency Response: Project: _____
Page 2

Date: 1-28-05



Please feel free to contact me if you have any questions or if you would like to discuss this further. I can be reached at (845) 256-_____. Thank you.

Respectfully,

Suzan Innes

Division of Environmental Permits
Region 3

cc: _____

APPLICATION and SEQR SCREENING CHECKLIST

1/14/05

APPLICANT: North Plank Dev. LLC DEC No. 3-
 FACILITY: North Plank ~~Development~~ Retail Office NYTM's N 458998 E 57844
 TOWN: New Windsor COUNTY: Orange

UPA Class: Major / UPA Minor

SEQR Class: Type 1 / Unlisted / Type 2
 SEQR Doc: Lead Ag. / Pos. or Neg. Dec.

Permits Required:

- | | |
|---|--|
| <input type="checkbox"/> Protection of Waters | <input type="checkbox"/> Freshwaters Wetlands |
| <input type="checkbox"/> Stream Disturbance | <input type="checkbox"/> Tidal Wetlands |
| <input type="checkbox"/> Excavation/Fill | <input type="checkbox"/> Coastal Erosion Hazard Area |
| <input type="checkbox"/> Dam | <input type="checkbox"/> SPDES |
| <input type="checkbox"/> Dock/Mooring | <input type="checkbox"/> Wastewater |
| <input type="checkbox"/> Water Quality Certification | <input type="checkbox"/> Stormwater - Construction |
| <input type="checkbox"/> Water Supply | <input type="checkbox"/> Stormwater - Industrial |
| <input type="checkbox"/> Wild, Scenic and Recreational Rivers | <input type="checkbox"/> Air Resources |
| <input type="checkbox"/> Solid Waste Management | <input type="checkbox"/> Mined Land Reclamation |

Basic GIS Screening:

YES NO

- ☐ ☒ State Freshwater Wetlands #(s): _____ Class: _____
- ☐ ☒ Stream/Waterbody: Index #: _____ Class: _____
 Name: _____
- ☐ ☒ Significant Habitat: _____
none identified
- ☐ ☒ Tidal Wetlands
- ☒ ☐ Archaeological Site (Circles & Squares)
- ☐ ☒ Historic Site/Structure: _____

Other Screening:

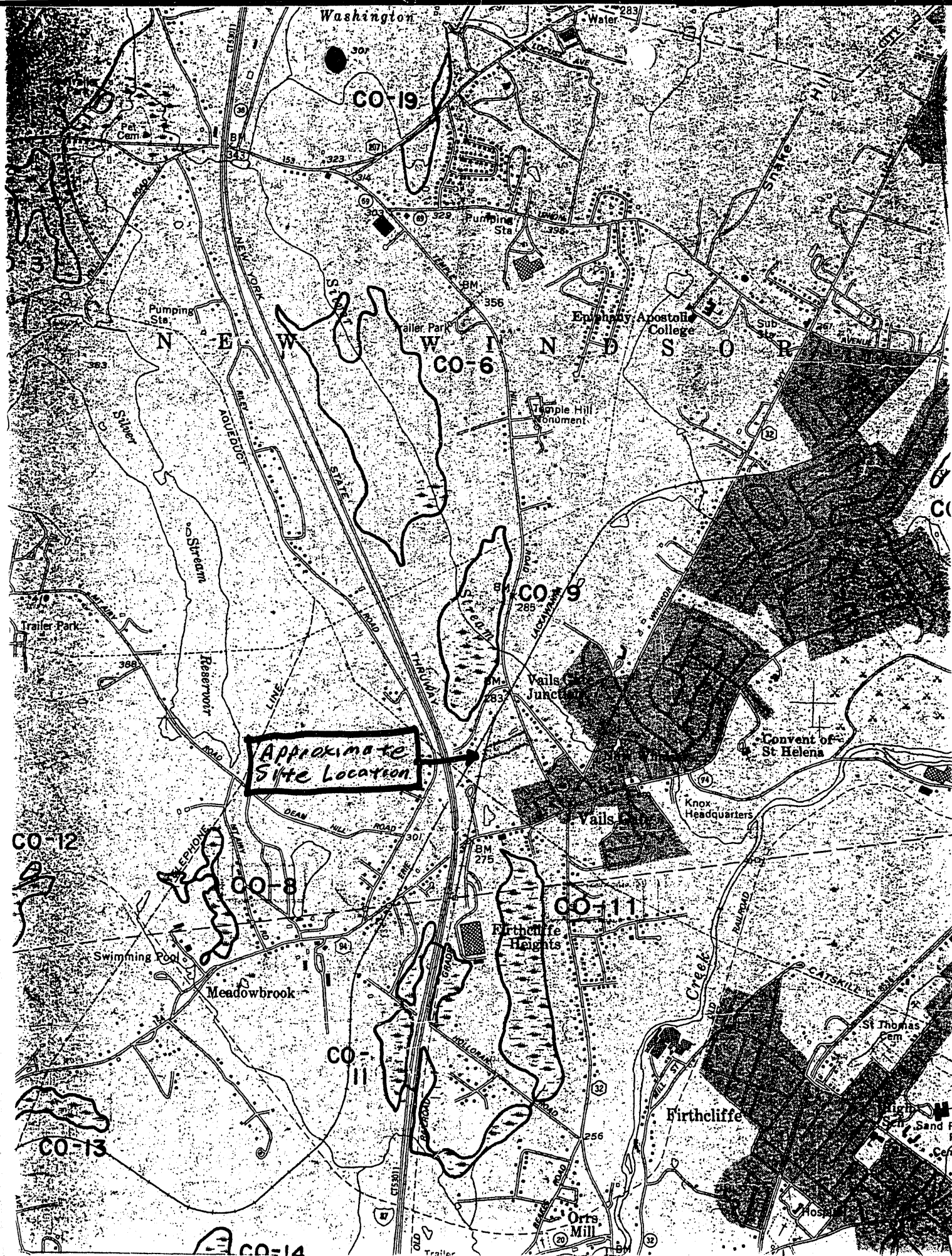
- ☐ ☐ Agricultural District
- ☐ ☐ EJ - (SW, HW, Air, SPDES only)
- ☐ ☐ Aesthetic Resources
- ☐ ☒ Coastal Management Zone
- ☐ ☐ Critical Environmental Area
- ☐ ☐ Primary Aquifer
- ☐ ☐ NYC Watershed () EoH () WoH
- ☒ ☐ FWS National Wetlands Inventory
- ☐ ☐ Bond Act
- ☐ ☐ Hazardous Waste Site
- ☐ ☐ Dams

Other Reviewing Agencies:

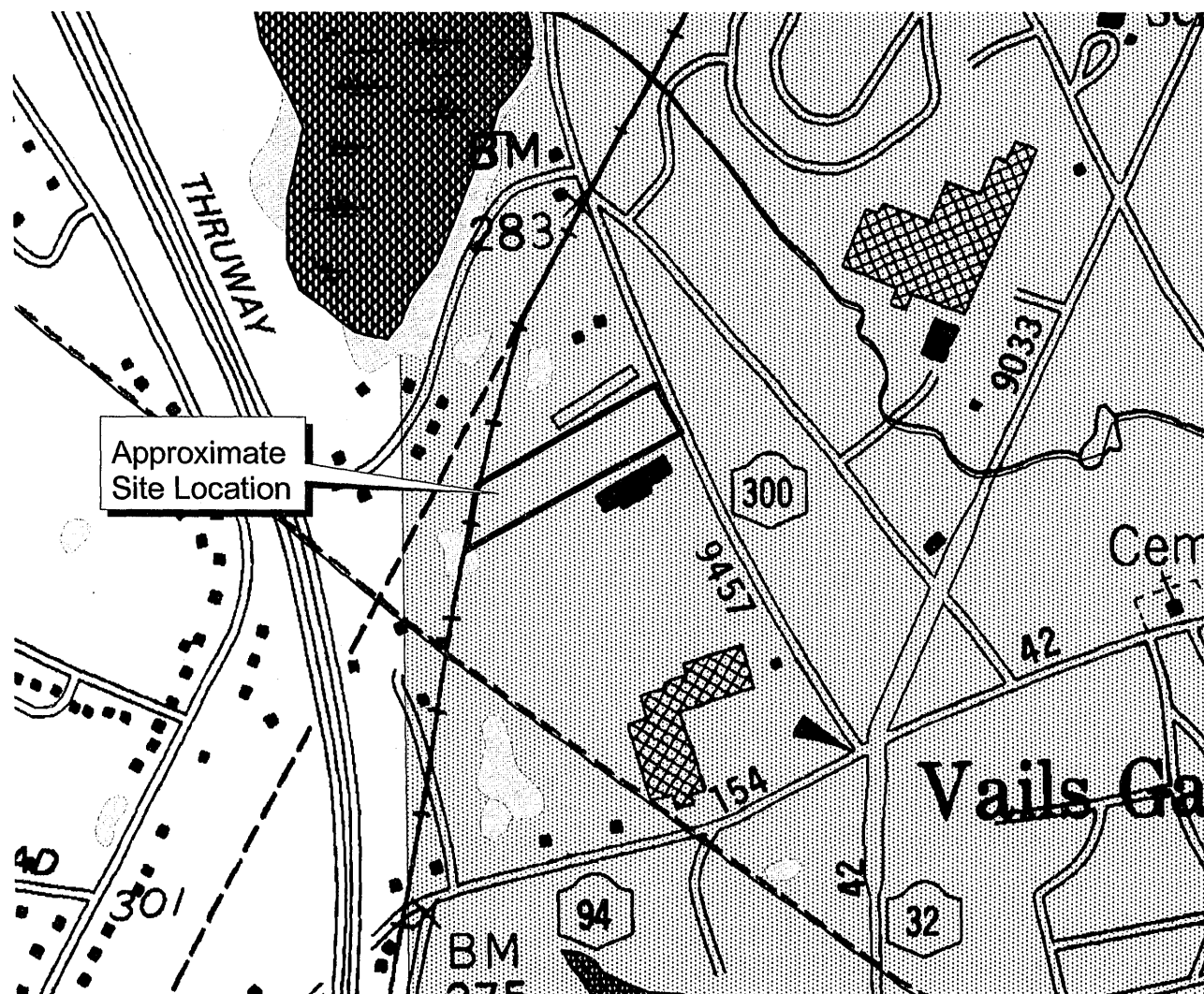
- ☐ US Army Corps of Engineers
- ☐ NYS Department of State
- ☐ NYS OPRHP
- ☐ NYS Office of General Services
- ☐ NYS DOT
- ☐ County/State Health Department
- ☐ Local Government
- ☐ NYC DEP
- ☐ Other: _____

COMMENTS:

DATE: 1/25/05 REVIEWED BY: _____

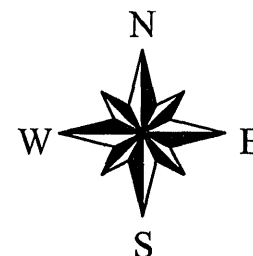


North Plank Development Environmental Screening



0.2 0 0.2 0.4 Miles

- North_plank_dev.shp
- T01-blandings.shp
- T01-bog.shp
- T02-bog.shp
- T01-timber.shp
- T02-timber.shp
- Filtered Natural Heritage ProgramEO Boundary
- Animal Assemblage
- Community
- Invertebrate Animal
- Non-vascular Plant
- Vascular Plant
- Vertebrate Animal
- In Process
- NYS Regulatory Freshwater Wetland
- Class 1
- Class 2
- Class 3
- Class 4
- Uncoded
- National Wetlands Inventory (polygon)
- Estuarine
- Lacustrine
- Marine
- Palustrine
- Riverine
- Stream, 1:24,000
- Archaeological Sites
- National/State Register Site
- State Historic Site
- Coastal Management Area Boundaries
- Critical Environmental Areas
- Aquifers, Primary
- Inactive Hazardous Waste Sites
- Quadrangle Border, 1:24,000



CORNWALL QUADRANGLE

Scale

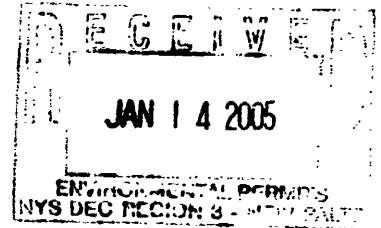
1" = 2000'





Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4615
Fax: (845) 563-4693



OFFICE OF THE PLANNING BOARD

11 January 2005

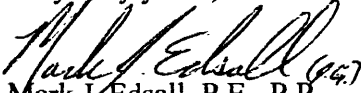
**SUBJECT: NORTH PLANK DEVELOPMENT LLC SITE PLAN
(PROPOSED RETAIL & OFFICE BUILDINGS)
TOWN OF NEW WINDSOR, ORANGE COUNTY, NEW YORK
(NWPB REF. NO. 04-34)**

To all Involved Agencies:

The Town of New Windsor Planning Board has had placed before it an application for Site Plan approval of the North Plank Development Site Plan project, located on the west side of Temple Hill Road (NYS Route 300 – Freedom Road) within the Town. The project involves, in general, the development of a total of 17,400 s.f. of retail and office buildings on the 3+ acre site. It is the opinion of the Town of New Windsor Planning Board that the action is an Unlisted Action under SEQRA. This letter is written as a request for Lead Agency Coordination as required under Part 617 of the Environmental Conservation Law.

A letter of response with regard to your interest in the position of Lead Agency, as defined by Part 617, Title 6 of the Environmental Conservation Law and the SEQRA review process, sent to the Planning Board at the above address, attention of Mark J. Edsall, P.E., Planning Board Engineer (contact person), would be most appreciated. Should no other involved agency desire the Lead Agency position; it is the desire of the Town of New Windsor Planning Board to assume such role. Should the Planning Board fail to receive a written response requesting Lead Agency within thirty (30) days, it will be understood that you do not have an interest in the Lead Agency position. Thank you for your attention to this matter. Should you have any questions regarding this notice, please feel free to contact the undersigned at the above number or (845) 563-4615.

Very truly yours,


Mark J. Edsall, P.E., P.P.
Planning Board Engineer

NYS Department of Environmental Conservation, New Paltz
New York State Parks, Recreation and Historic Preservation
NYS Department of Transportation, Poughkeepsie
Orange County Department of Health
George J. Meyers, Town of New Windsor Supervisor (w/o encl)
Town of New Windsor Town Clerk (w/o encl)
Orange County Department of Planning
Myra Mason, Planning Board Secretary
Applicant (w/o encl)



COUNTY OF ORANGE

DEPARTMENT OF PLANNING

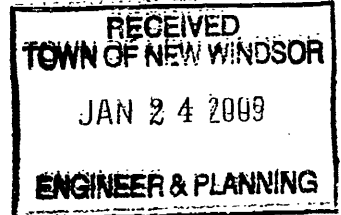
EDWARD A. DIANA
COUNTY EXECUTIVE

124 MAIN STREET
GOSHEN, NEW YORK 10924-2124
TEL: (845)291-2318 FAX: (845)291-2533

DAVID CHURCH, A.I.C.P.
COMMISSIONER

January 18, 2005

Mr. James Petro, PB Chair
Town of New Windsor Planning Board
555 Union Ave
New Windsor, NY 12553



Re: Request for lead agency status North Plank Development LLC

Dear Mr. Petro:

Our office is in receipt of a lead agency coordination request. We have no interest in becoming the lead agency on this project, but we would like the opportunity to review any additional SEQR information that is provided by the applicant of this project.

Thank you for giving us the opportunity to respond to your request and look forward to reviewing the application when it is referred to us for our comments. Any question can be directed to Kathy Murphy, Planner.

Sincerely,

David Church
Commissioner



December 8, 2004

PROJECT: North Plank Development

P.B. # 04-34

NEGATIVE DEC:

M) S) VOTE: A N

CARRIED: Y N

M) A S) L VOTE: A 5 N 0

CARRIED: Y ☒ N ☐

PUBLIC HEARING: **WAIVED:** **CLOSED:**

M) _____ S) _____ VOTE: A 5 N 0 SCHEDULE P.H.: Y ✓ N _____

SEND TO O.C. PLANNING: Y ☒

SEND TO DEPT. OF TRANSPORTATION: Y ☒

REFER TO Z.B.A.: M) S) VOTE: A N

RETURN TO WORK SHOP: Y N

APPROVAL:

M) S) VOTE: A N APPROVED: _____

NEED NEW PLANS: Y N

CONDITIONS - NOTES:

Move poles away from curbs about 3'

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 12/06/2004

PAGE: 1

LISTING OF PLANNING BOARD **FEES**
ESCROW

FOR PROJECT NUMBER: 4-34

NAME: RETAIL & OFFICE - NORTH PLANK DEVELOPMENT LLC
APPLICANT: NORTH PLANK DEVELOPMENT LLC

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
12/06/2004	REC. CK. #8579	PAID		750.00	
		TOTAL:	0.00	750.00	-750.00

h

12/6/09

Town of New Windsor
555 Union Avenue
New Windsor, NY 12553
(845) 563-4611

RECEIPT
#1210-2004

12/07/2004

North Plank Dev. Co. *P.B 04-34*

Received \$ 125.00 for Planning Board Fees, on 12/07/2004. Thank you for stopping by the Town Clerk's office.

As always, it is our pleasure to serve you.

Deborah Green
Town Clerk

**FIRE INSPECTOR'S
INTER-OFFICE CORRESPONDENCE**

TO: Genaro Argenio, Planning Board Chairman

FROM: Kenneth Schermerhorn, Asst. Fire Inspector

SUBJECT: PB-04-34
North Plank Dev. Rt. 300
SBL: 68-2-12.22

DATE: December 6, 2006

Fire Prevention Reference Number: FPS-06-052

A review of the above referenced site plan has been conducted and is acceptable.



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E. (NY & PA)

WILLIAM J. HAUSER, P.E. (NY & NJ)

MARK J. EDSALL, P.E. (NY, NJ & PA)

JAMES M. FARR, P.E. (NY & PA)

☐ **Main Office**
33 Airport Center Drive
Suite #202
New Windsor, New York 12553
(845) 567-3100
e-mail: mheny@mhepc.com

☐ **Regional Office**
507 Broad Street
Milford, Pennsylvania 18337
(570) 296-2765
e-mail: mhepa@mhepc.com

Writer's E-mail Address:
mje@mhepc.com

PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE

TOWN / VILLAGE OF:

New Windsor

P/B APP. NO.:

0Y 34

WORK SESSION DATE:

18 Oct 06

PROJECT: NEW

OLD X

REAPPEARANCE AT W/S REQUESTED:

RESUB. REQ'D:

PROJECT NAME:

North Park Development

REPRESENTATIVES PRESENT:

Greg Shaw

MUNICIPAL REPS PRESENT:

BLDG INSP.
ENGINEER X
P/B CHMN

FIRE INSP. _____
PLANNER _____
OTHER _____

ITEMS DISCUSSED:

STND CHECKLIST:

**PROJECT
TYPE**

DRAINAGE _____

SITE PLAN

DUMPSTER _____

SPEC PERMIT

SCREENING _____

L L CHG.

LIGHTING _____

SUBDIVISION

(Streetlights)

LANDSCAPING _____

OTHER

BLACKTOP _____

ROADWAYS _____

APPROVAL BOX _____

PROJECT STATUS:

ZBA Referral: _____

Y _____ N

Ready For Meeting _____

Y _____ N

Recommended Mtg Date _____



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E. (NY & PA)

WILLIAM J. HAUSER, P.E. (NY & NJ)

MARK J. EDSALL, P.E. (NY, NJ & PA)

JAMES M. FARR, P.E. (NY & PA)

☐ **Main Office**

33 Airport Center Drive

Suite #202

New Windsor, New York 12553

(845) 567-3100

e-mail: mheny@mhepc.com

☐ **Regional Office**

507 Broad Street

Milford, Pennsylvania 18337

(570) 296-2765

e-mail: mhepa@mhepc.com

Writer's E-mail Address:

mje@mhepc.com

PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE

TOWN / VILLAGE OF:

New Windsor

P/B APP. NO.:

04-34

WORK SESSION DATE:

Nov 2006

PROJECT: NEW

X **OLD**

REAPPEARANCE AT W/S REQUESTED:

not now

RESUB. REQ'D:

new plans

PROJECT NAME:

North Platte Driv S/P

REPRESENTATIVES PRESENT:

Cory Shaw

MUNICIPAL REPS PRESENT:

BLDG INSP.
ENGINEER
P/B CHMN

X

FIRE INSP.
PLANNER
OTHER

ITEMS DISCUSSED:

2004-gp

- in limbo
- betw Stuber King + Steel Fab
- DOT-made him move drive
- only front bldg only
- for future rear bldg -
not part of app now

revised plan

STND CHECKLIST:

DRAINAGE

DUMPSTER

SCREENING

LIGHTING

(Streetlights)

LANDSCAPING

BLACKTOP

ROADWAYS

APPROVAL BOX

**PROJECT
TYPE**

SITE PLAN

SPEC PERMIT

L I CHG.

SUBDIVISION

OTHER

PROJECT STATUS:

ZBA Referral: Y X N

Ready For Meeting X Y N

Recommended Mtg Date next avail



Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4615
Fax: (845) 563-4693

OFFICE OF THE PLANNING BOARD

PROJECT REVIEW SHEET

TO: FIRE INSPECTOR

P.B. FILE #04-34 DATE RECEIVED: 12-06-04 TAX MAP #68-2-12.22

PLEASE RETURN COMPLETED FORM TO MYRA
BY: A.S.A.P. TO BE ON AGENDA FOR THE 12-08-04 PLANNING BOARD
MEETING.

THE MAPS AND/OR PLANS FOR:

NORTH PLANK DEVELOPMENT SITE PLAN

Applicant or Project Name

SITE PLAN XXX, SUBDIVISION _____, LOT LINE CHANGE _____,
SPECIAL PERMIT _____

HAVE BEEN REVIEWED BY THE UNDERSIGNED AND ARE:

☒ APPROVED:

Notes: NOTE - AS per Town Code both Buildings
will Require Sprinkler Systems (Fire) AS
they are over 15,000 sq ft.

☐ DISAPPROVED:

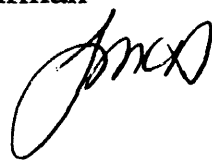
Notes: _____

Signature: [Signature] 12/8/04
Reviewed by _____ date

**FIRE INSPECTOR'S
INTER-OFFICE CORRESPONDENCE**

TO: James Petro, Planning Board Chairman

FROM: John McDonald, Fire Inspector



SUBJECT: PB-04-34
No. Plank Dev. Site Plan
SBL: 68-2-12.22

DATE: December 9, 2004

Fire Prevention Reference Number: FPS-04-052

A review of the above referenced Site Plan has been conducted and found to be acceptable with the following requirements:

- **NOTE: As per Town Code, both Buildings will require Sprinkler systems (FIRE) as they are over 5,000 sq. ft.**



Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4615
Fax: (845) 563-4693

OFFICE OF THE PLANNING BOARD

PROJECT REVIEW SHEET

TO: **FIRE INSPECTOR**

P.B. FILE #04-34 DATE RECEIVED: 12-06-04 TAX MAP #68-2-12.22

PLEASE RETURN COMPLETED FORM TO MYRA
BY: A.S.A.P. TO BE ON AGENDA FOR THE 12-08-04 PLANNING BOARD
MEETING.

THE MAPS AND/OR PLANS FOR:

NORTH PLANK DEVELOPMENT SITE PLAN

Applicant or Project Name

SITE PLAN XXX, SUBDIVISION _____, LOT LINE CHANGE _____,
SPECIAL PERMIT _____

HAVE BEEN REVIEWED BY THE UNDERSIGNED AND ARE:

☒ **APPROVED:**

Notes: NOTE - As per Town Code both Buildings
will require Sprinkler Systems (Fire) AS
they are over 5,000 sq ft.

☐ **DISAPPROVED:**

Notes: _____

Signature: [Signature] 12/8/04
Reviewed by _____ date

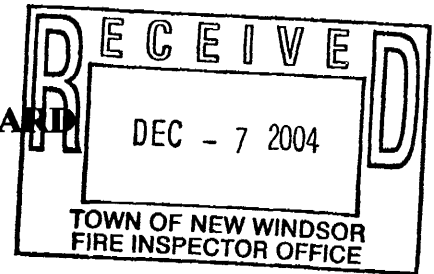


Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4615
Fax: (845) 563-4693

OFFICE OF THE PLANNING BOARD

PROJECT REVIEW SHEET



TO: **E 911 COORDINATOR**

P.B. FILE #04-34

DATE RECEIVED: 12-06-04 TAX MAP #68-2-12.22

PLEASE RETURN COMPLETED FORM TO MYRA

BY: A.S.A.P. TO BE ON AGENDA FOR THE 12-08-04 PLANNING BOARD MEETING.

THE MAPS AND/OR PLANS FOR:

NORTH PLANK DEVELOPMENT SITE PLAN

Applicant or Project Name

SITE PLAN XXX, SUBDIVISION _____, LOT LINE CHANGE _____,
SPECIAL PERMIT _____

HAVE BEEN REVIEWED BY THE UNDERSIGNED AND ARE:

☒ **APPROVED:**

Notes: NO E-911 ISSUES

☐ **DISAPPROVED:**

Notes: _____

Signature: _____

Reviewed by

date: 12/8/04



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.**

RICHARD D. McGOEY, P.E. (NY & PA)

WILLIAM J. HAUSER, P.E. (NY & NJ)

MARK J. EDSALL, P.E. (NY, NJ & PA)

JAMES M. FARR, P.E. (NY & PA)

☐ **Main Office**

33 Airport Center Drive
Suite #202
New Windsor, New York 12553
(845) 567-3100
e-mail: mhenry@mhepc.com

☐ **Regional Office**

507 Broad Street
Milford, Pennsylvania 18337
(570) 296-2765
e-mail: mhepa@mhepc.com

Writer's E-mail Address:
mje@mhepc.com

**PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE**

TOWN/VILLAGE OF: New Windsor **P/B APP. NO.:** _____

WORK SESSION DATE: Tues. 30 Nov 04 **PROJECT:** NEW _____ OLD _____

REAPPEARANCE AT W/S REQUESTED: _____ **RESUB. REQ'D:** _____

PROJECT NAME: North Platte Drmt.

REPRESENTATIVES PRESENT: Gry Plan / Reg Y

MUNICIPAL REPS PRESENT:

BLDG INSP.	_____	FIRE INSP.	_____
ENGINEER	<u>X</u>	PLANNER	_____
P/B CHMN	<u>X</u>	OTHER	_____

ITEMS DISCUSSED: O.C.D.P.

reg P/H

plan, in good shape

<u>STND CHECKLIST:</u>	<u>PROJECT TYPE</u>
DRAINAGE _____	SITE PLAN
DUMPSTER _____	SPEC PERMIT
SCREENING _____	L L CHG.
LIGHTING _____	SUBDIVISION
(Streetlights)	
LANDSCAPING _____	OTHER
BLACKTOP _____	
ROADWAYS _____	
APPROVAL BOX _____	

PROJECT STATUS:
ZBA Referral: _____ Y X N

Ready For Meeting X Y _____ N

Recommended Mtg Date 12/8

Per Jm P.

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553
Telephone: (845) 563-4615
Fax: (845) 563-4695

PLANNING BOARD APPLICATION

TYPE OF APPLICATION (check appropriate item):

Subdivision _____ Lot Line Change _____ Site Plan x Special Permit _____

Tax Map Designation: Sec. 68 Block 2 Lot 12.22

BUILDING DEPARTMENT REFERRAL NUMBER PA2004 - 1402

1. Name of Project New Retail & Office Buildings For North Plank Development LLC

2. Owner of Record North Plank Development LLC Phone _____

Address: 5020 NYS Route 9W, Newburgh, NY 12550
(Street Name & Number) (Post Office) (State) (Zip)

3. Name of Applicant Same As Owner Phone _____

Address: _____
(Street Name & Number) (Post Office) (State) (Zip)

4. Person Preparing Plan Gregory J. Shaw, P.E. Phone 561-3695

Address: 744 Broadway, Newburgh, NY 12550
(Street Name & Number) (Post Office) (State) (Zip)

5. Attorney _____ Phone _____

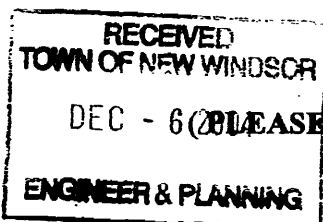
Address _____
(Street Name & Number) (Post Office) (State) (Zip)

6. Person to be notified to appear at Planning Board meeting:

Gregory J. Shaw, P.E. 565-7865 561-3027
(Name) (Phone) (fax)

7. Project Location: On the west side of Temple Hill Road
(Direction) (Street)

8. Project Data: Acreage 3.01 Zone C School Dist. Newburgh Consolidated



PAGE 1 OF 2

PLEASE DO NOT COPY 1 & 2 AS ONE PAGE TWO-SIDED)

04-34

9. Is this property within an Agricultural District containing a farm operation or within 500 feet of a farm operation located in an Agricultural District? Yes _____ No x

***This information can be verified in the Assessor's Office.**

***If you answer yes to question 9, please complete the attached Agricultural Data Statement.**

10. Detailed description of Project: (Use, Size, Number of Lots, etc.) _____
The construction of 2 building for retail and office use
along with parking and other associated site improvements.
The two buildings are 7,200 SF and 10,200 SF in size.

11. Has the Zoning Board of Appeals Granted any Variances for this property? yes _____ no x

12. Has a Special Permit previously been granted for this property? yes _____ no X

IF THIS APPLICATION IS SIGNED BY ANYONE OTHER THAN THE PROPERTY OWNER, A SEPARATE NOTARIZED STATEMENT OR PROXY STATEMENT FROM THE OWNER MUST BE SUBMITTED, AT THE TIME OF APPLICATION, AUTHORIZING THIS APPLICATION.

STATE OF NEW YORK)

SS.:

COUNTY OF ORANGE)

THE UNDERSIGNED APPLICANT, BEING DULY SWORN, DEPOSES AND STATES THAT THE INFORMATION, STATEMENTS AND REPRESENTATIONS CONTAINED IN THIS APPLICATION AND SUPPORTING DOCUMENTS AND DRAWINGS ARE TRUE AND ACCURATE TO THE BEST OF HIS/HER KNOWLEDGE AND/OR BELIEF. THE APPLICANT FURTHER ACKNOWLEDGES RESPONSIBILITY TO THE TOWN FOR ALL FEES AND COSTS ASSOCIATED WITH THE REVIEW OF THIS APPLICATION.

SWORN BEFORE ME THIS:


4th DAY OF November 2004


(OWNER'S SIGNATURE)

(AGENT'S SIGNATURE)

John Leaver III

Please Print Agent's Name as Signed


NOTARY PUBLIC

EILEEN T STAFFON
Notary Public, State of New York
Qualified in Orange County
Registration No. 01ST5055607
Commission Expires 2-12-06

TOWN OF NEW WINDSOR
RECEIVED
ENGINEER & PLANNING
DATE APPLICATION RECEIVED

DEC - 6 2004

04-34

APPLICATION NUMBER

AGENT/OWNER PROXY STATEMENT
(for professional representation)

for submittal to the:
TOWN OF NEW WINDSOR PLANNING BOARD

North Plank Development LLC, ^{it conducts business} ~~deposes and says that he resides~~
(OWNER)

at 5020 NYS Route 9W, Newburgh in the County of Orange
(OWNER'S ADDRESS)

and State of New York and that ^{it} ~~he~~ is the owner of property tax map

(Sec. 68 Block 2 Lot 12.22)
designation number (Sec. Block Lot) which is the premises described in
the foregoing application and that ~~he~~ designates:

it

(Agent Name & Address)

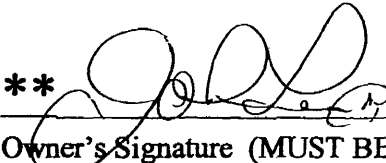
Gregory J. Shaw, P.E., 744 Broadway, Newburgh, NY 12550
(Name & Address of Professional Representative of Owner and/or Agent)

as his agent to make the attached application.

**THIS DESIGNATION SHALL BE EFFECTIVE UNTIL WITHDRAWN BY THE OWNER OR
UNTIL TWO (2) YEARS FROM THE DATE AGREED TO, WHICH EVER IS SOONER.**

SWORN BEFORE ME THIS:

4th DAY OF November 2004

******  John Lease III
Owner's Signature (MUST BE NOTARIZED)

Agent's Signature (If Applicable)

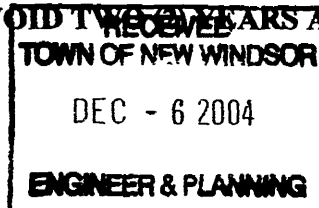

NOTARY PUBLIC

EILEEN T. STAFFON
Notary Public, State of New York
Qualified in Orange County
Registration No. Q1ST5055607
Commission Expires 2-12-06

Professional Representative's Signature

**** PLEASE NOTE: ONLY OWNER'S SIGNATURE MUST BE NOTARIZED.**

THIS PROXY SHALL BE VOID TWO YEARS AFTER AGREED TO BY THE OWNER



04-34

TOWN OF NEW WINDSOR PLANNING BOARD

SITE PLAN CHECKLIST

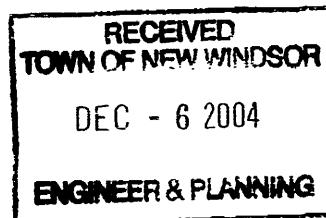
ITEM

1. X Site Plan Title
2. X **Provide 4" wide X 2" high box (IN THE LOWEST RIGHT CORNER OF THE PLAN) for use by Planning Board in affixing Stamp of Approval. (ON ALL PAGES OF SITE PLAN).**

SAMPLE:

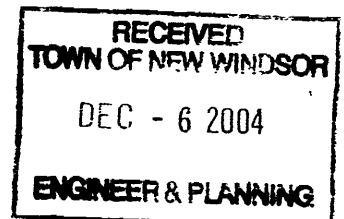


3. X Applicant's Name(s)
4. X Applicant's Address
5. X Site Plan Preparer's Name
6. X Site Plan Preparer's Address
7. X Drawing Date
8. X Revision Dates
9. X Area Map Inset and Site Designation
10. NA Properties within 500' of site
11. NA Property Owners (Item #10)
12. X Plot Plan
13. X Scale (1" = 50' or lesser)
14. X Metes and Bounds
15. X Zoning Designation
16. X North Arrow
17. X Abutting Property Owners
18. NA Existing Building Locations
19. X Existing Paved Areas
20. X Existing Vegetation
21. NA Existing Access & Egress



PROPOSED IMPROVEMENTS

- | | | |
|-----|-------------------|-------------------------------------|
| 22. | <u> X </u> | Landscaping |
| 23. | <u> X </u> | Exterior Lighting |
| 24. | <u> X </u> | Screening |
| 25. | <u> X </u> | Access & Egress |
| 26. | <u> X </u> | Parking Areas |
| 27. | <u> X </u> | Loading Areas |
| 28. | <u> X </u> | Paving Details (Items 25 - 27) |
| 29. | <u> X </u> | Curbing Locations |
| 30. | <u> X </u> | Curbing through section |
| 31. | <u> X </u> | Catch Basin Locations |
| 32. | <u> X </u> | Catch Basin Through Section |
| 33. | <u> X </u> | Storm Drainage |
| 34. | <u> X </u> | Refuse Storage |
| 35. | <u> X </u> | Other Outdoor Storage |
| 36. | <u> X </u> | Water Supply |
| 37. | <u> X </u> | Sanitary Disposal System |
| 38. | <u> X </u> | Fire Hydrants |
| 39. | <u> X </u> | Building Locations |
| 40. | <u> X </u> | Building Setbacks |
| 41. | <u> NA </u> | Front Building Elevations |
| 42. | <u> X </u> | Divisions of Occupancy |
| 43. | <u> NA </u> | Sign Details |
| 44. | <u> X </u> | Bulk Table Inset |
| 45. | <u> X </u> | Property Area (Nearest 100 sq. ft.) |
| 46. | <u> X </u> | Building Coverage (sq. ft.) |
| 47. | <u> X </u> | Building Coverage (% of total area) |
| 48. | <u> X </u> | Pavement Coverage (sq. ft.) |
| 49. | <u> X </u> | Pavement Coverage (% of total area) |
| 50. | <u> X </u> | Open Space (sq. ft.) |
| 51. | <u> X </u> | Open Space (% of total area) |
| 52. | <u> X </u> | No. of parking spaces proposed |
| 53. | <u> X </u> | No. of parking spaces required |



REFERRING TO QUESTION 9 ON THE APPLICATION FORM, AIS THIS PROPERTY WITHIN AN AGRICULTURAL DISTRICT CONTAINING A FARM OPERATION OR WITHIN 500 FEET OF A FARM OPERATION LOCATED IN AN AGRICULTURAL DISTRICT, PLEASE NOTE THE FOLLOWING:

54. NA Referral to Orange County Planning Dept. is required for all applicants filing AD Statement.

55. NA A disclosure Statement, in the form set below, must be inscribed on all site plan maps prior to the affixing of a stamp of approval, whether or not the Planning Board specifically requires such a statement as a condition of approval.

APrior to the sale, lease, purchase, or exchange of property on this site which is wholly or partially within or immediately adjacent to or within 500 feet of a farm operation, the purchaser or leasee shall be notified of such farm operation with a copy of the following notification.

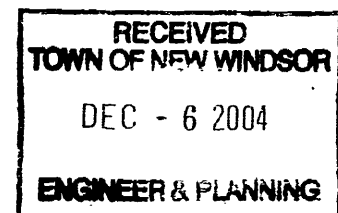
It is the policy of this State and this community to conserve, protect and encourage the development and improvement of agricultural land for the production of food, and other products, and also for its natural and ecological value. This notice is to inform prospective residents that the property they are about to acquire lies partially or wholly within an agricultural district or within 500 feet of such a district and that farming activities occur within the district. Such farming activities may include, but not be limited to, activities that cause noise, dust and odors.

This list is provided as a guide only and is for the convenience of the Applicant. The Town of New Windsor Planning Board may require additional notes or revisions prior to granting approval.

PREPARER'S ACKNOWLEDGMENT:

THE PLAT FOR THE PROPOSED SITE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THIS CHECKLIST AND THE TOWN OF NEW WINDSOR ORDINANCES, TO THE BEST OF MY KNOWLEDGE.

BY: _____
Licensed Professional Date



⌘ ⌘ ⌘ ⌘ ⌘ ⌘

PLEASE NOTE:

⌘ ⌘ ⌘ ⌘ ⌘ ⌘

THE APPLICANT OR THEIR REPRESENTATIVE IS RESPONSIBLE TO KEEP TRACK OF ALL EXPIRATION DATES FOR ANY AND ALL APPROVALS GRANTED TO A PROJECT. EXTENSIONS MUST BE APPLIED FOR PRIOR TO EXPIRATION DATE.

PROJECT ID NUMBER

617.20
APPENDIX C

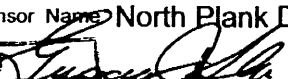
SEQR

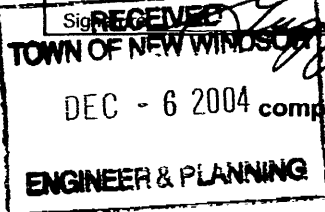
STATE ENVIRONMENTAL QUALITY REVIEW

SHORT ENVIRONMENTAL ASSESSMENT FORM

for UNLISTED ACTIONS Only

PART 1 - PROJECT INFORMATION (To be completed by Applicant or Project Sponsor)

1. APPLICANT / SPONSOR North Plank Development LLC	2. PROJECT NAME New Retail & Office Buildings For North Plank
3. PROJECT LOCATION: Town Of New Winsor Municipality	Orange County
4. PRECISE LOCATION: Street Address and Road Intersections, Prominent landmarks etc - or provide map West side of Temple Hill Road (NYS Route 300) south of its intersection with Old Temple Hill Road	
5. IS PROPOSED ACTION : <input checked="" type="checkbox"/> New <input type="checkbox"/> Expansion <input type="checkbox"/> Modification / alteration	
6. DESCRIBE PROJECT BRIEFLY: The construction of two buildings for retail and office use along with parking and other associated site improvement. The buildings are 7,200 SF and 10,200 SF in size	
7. AMOUNT OF LAND AFFECTED: Initially 3.0 acres Ultimately 3.0 acres	
8. WILL PROPOSED ACTION COMPLY WITH EXISTING ZONING OR OTHER RESTRICTIONS? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If no, describe briefly:	
9. WHAT IS PRESENT LAND USE IN VICINITY OF PROJECT? (Choose as many as apply.) <input checked="" type="checkbox"/> Residential <input checked="" type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Agriculture <input type="checkbox"/> Park / Forest / Open Space <input type="checkbox"/> Other (describe)	
10. DOES ACTION INVOLVE A PERMIT APPROVAL, OR FUNDING, NOW OR ULTIMATELY FROM ANY OTHER GOVERNMENTAL AGENCY (Federal, State or Local) <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, list agency name and permit / approval: New York State Dept. of Transportation	
11. DOES ANY ASPECT OF THE ACTION HAVE A CURRENTLY VALID PERMIT OR APPROVAL? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, list agency name and permit / approval:	
12. AS A RESULT OF PROPOSED ACTION WILL EXISTING PERMIT / APPROVAL REQUIRE MODIFICATION? <input type="checkbox"/> Yes <input type="checkbox"/> No	
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE TO THE BEST OF MY KNOWLEDGE Applicant / Sponsor Name: North Plank Development LLC Date: 11/4/2004 Signature: 	

If the action is a Coastal Area, and you are a state agency,
complete the Coastal Assessment Form before proceeding with this assessment

04-34

PART II - IMPACT ASSESSMENT (To be completed by Lead Agency)

A. DOES ACTION EXCEED ANY TYPE I THRESHOLD IN 6 NYCRR, PART 617.4? If yes, coordinate the review process and use the FULL EAF.
☐ Yes ☒ No

B. WILL ACTION RECEIVE COORDINATED REVIEW AS PROVIDED FOR UNLISTED ACTIONS IN 6 NYCRR, PART 617.6? If No, a negative declaration may be superseded by another involved agency.
☐ Yes ☒ No

C. COULD ACTION RESULT IN ANY ADVERSE EFFECTS ASSOCIATED WITH THE FOLLOWING: (Answers may be handwritten, if legible)

C1. Existing air quality, surface or groundwater quality or quantity, noise levels, existing traffic pattern, solid waste production or disposal, potential for erosion, drainage or flooding problems? Explain briefly:
No

C2. Aesthetic, agricultural, archaeological, historic, or other natural or cultural resources; or community or neighborhood character? Explain briefly:
No

C3. Vegetation or fauna, fish, shellfish or wildlife species, significant habitats, or threatened or endangered species? Explain briefly:
No

C4. A community's existing plans or goals as officially adopted, or a change in use or intensity of use of land or other natural resources? Explain briefly:
No

C5. Growth, subsequent development, or related activities likely to be induced by the proposed action? Explain briefly:
No

C6. Long term, short term, cumulative, or other effects not identified in C1-C5? Explain briefly:
No

C7. Other impacts (including changes in use of either quantity or type of energy? Explain briefly:
No

D. WILL THE PROJECT HAVE AN IMPACT ON THE ENVIRONMENTAL CHARACTERISTICS THAT CAUSED THE ESTABLISHMENT OF A CRITICAL ENVIRONMENTAL AREA (CEA)? (If yes, explain briefly:
☐ Yes ☒ No

E. IS THERE, OR IS THERE LIKELY TO BE, CONTROVERSY RELATED TO POTENTIAL ADVERSE ENVIRONMENTAL IMPACTS? If yes explain:
☐ Yes ☒ No

PART III - DETERMINATION OF SIGNIFICANCE (To be completed by Agency)

INSTRUCTIONS: For each adverse effect identified above, determine whether it is substantial, large, important or otherwise significant. Each effect should be assessed in connection with its (a) setting (i.e. urban or rural); (b) probability of occurring; (c) duration; (d) irreversibility; (e) geographic scope; and (f) magnitude. If necessary, add attachments or reference supporting materials. Ensure that explanations contain sufficient detail to show that all relevant adverse impacts have been identified and adequately addressed. If question d of part ii was checked yes, the determination of significance must evaluate the potential impact of the proposed action on the environmental characteristics of the CEA.

☐ Check this box if you have identified one or more potentially large or significant adverse impacts which **MAY** occur. Then proceed directly to the FULL EAF and/or prepare a positive declaration.

☐ Check this box if you have determined, based on the information and analysis above and any supporting documentation, that the proposed action **WILL NOT** result in any significant adverse environmental impacts **AND** provide, on attachments as necessary, the reasons supporting this determination.

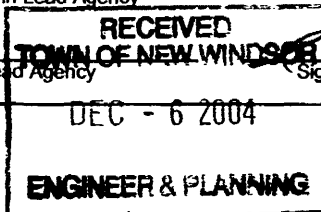
New Windsor Planning Board
Name of Lead Agency

James R. Petro, Jr.
Print or Type Name of Responsible Officer in Lead Agency

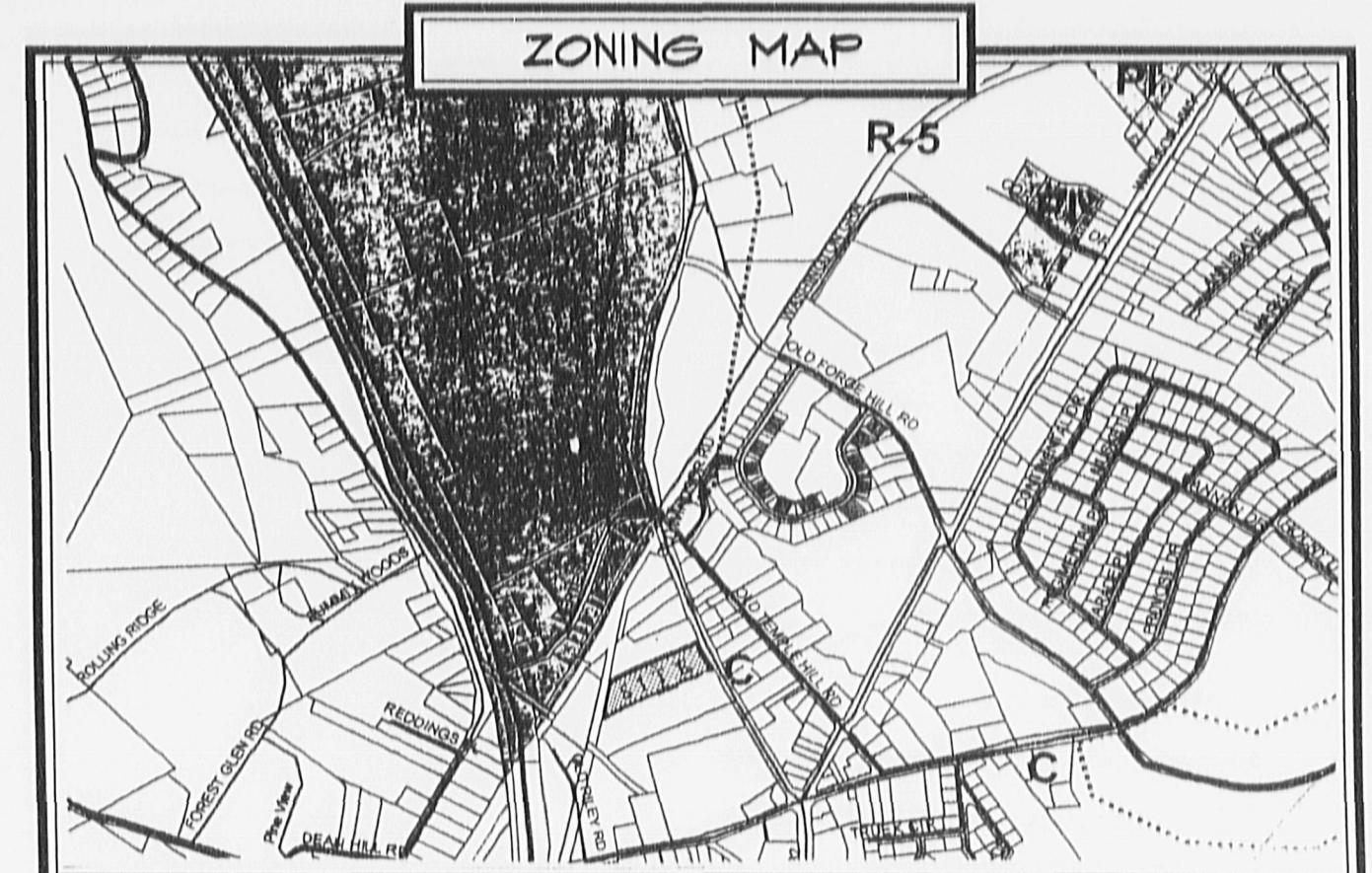
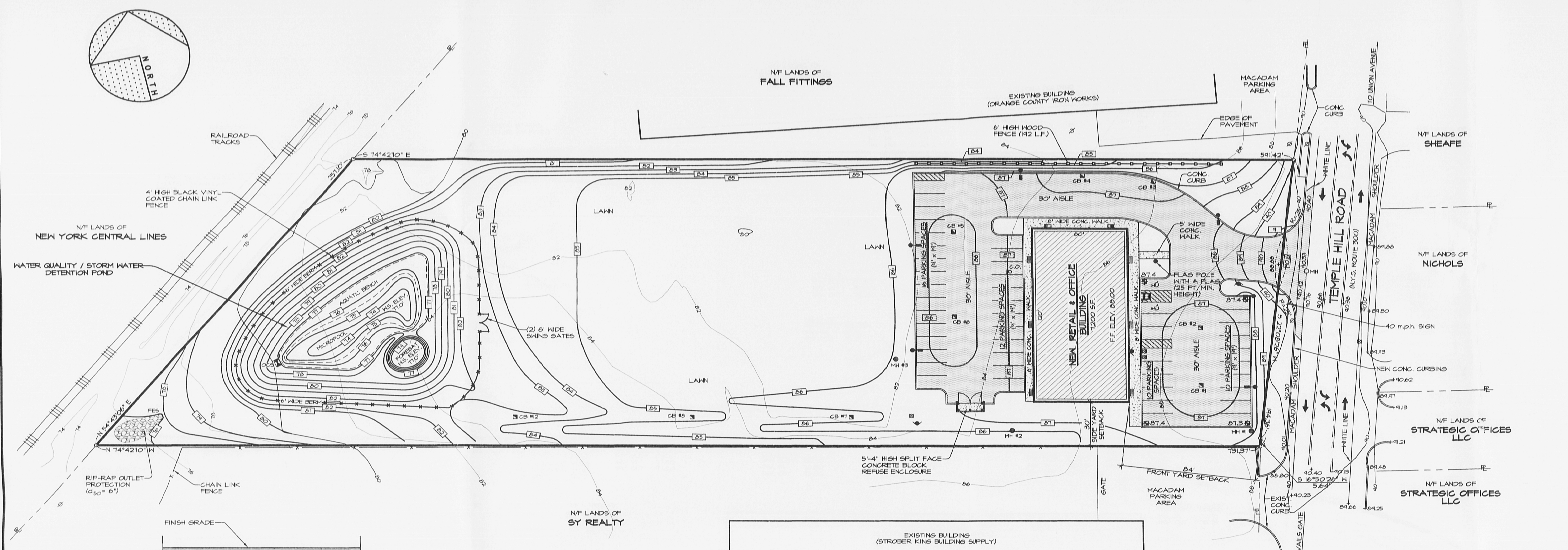
DEC - 6 2004
Signature of Responsible Officer in Lead Agency

Date
Chairman
Title of Responsible Officer

Signature of Preparer (If different from responsible officer)



04-34

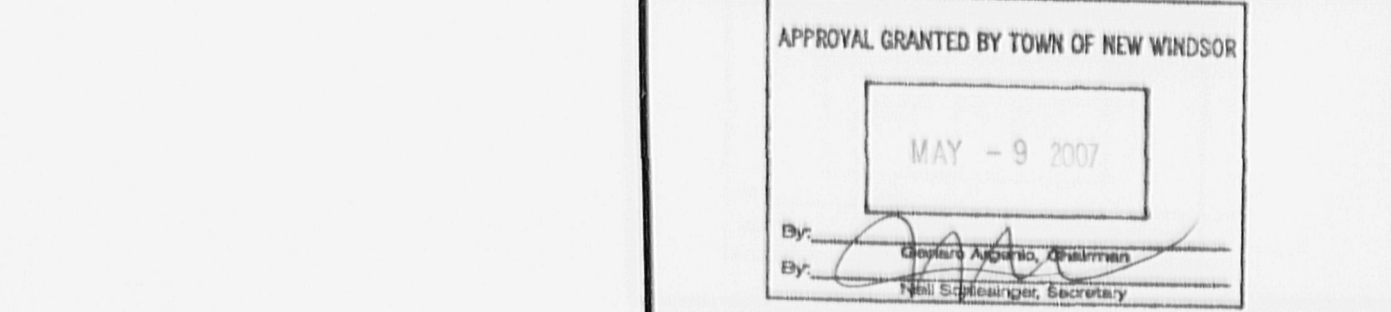


ZONING SCHEDULE		
ZONE C-1 DESIGN SHOPPING		
BULK REGULATIONS OF C ZONE - USES: A-1 TO A-6		
BULK REGULATIONS: C ZONE	REQUIRED	PROVIDED
MIN. LOT AREA	40,000 S.F.	131,311 S.F.
MIN. LOT WIDTH	200 FT.	200 FT.
MIN. FRONT YARD DEPTH	60 FT.	84 FT.
MIN. SIDE YARD - ONE	30 FT.	30 FT.
MIN. SIDE YARD - BOTH	10 FT.	18 FT.
MIN. REAR YARD DEPTH	30 FT.	430 FT.
MIN. STREET FRONTAGE	N/A	200 FT.
BUILDING HEIGHT (12' / FT. OF DISTANCE TO NEAREST LOT LINE - 30 FT.)	30'-0"	30'-0"
MAX. FLOOR AREA RATIO	0.50	0.05
DEVELOPMENT COVERAGE	85 %	24.1 %
OFF-STREET PARKING		
RETAIL & OFFICE	REQUIRED	PROVIDED
SPACE PER 150 S.F. OF TOTAL FLOOR AREA (1,200 S.F. / 150 S.F. PER SPACE)	48 SPACES	48 SPACES
COVERAGES		
BUILDING COVERAGE % OF TOTAL AREA		12.00 S.F. 5.5 %
PAVEMENT COVERAGE % OF TOTAL AREA		25,243 S.F. 14.2 %
OPEN SPACE COVERAGE % OF TOTAL AREA		90,660 S.F. 15.3 %

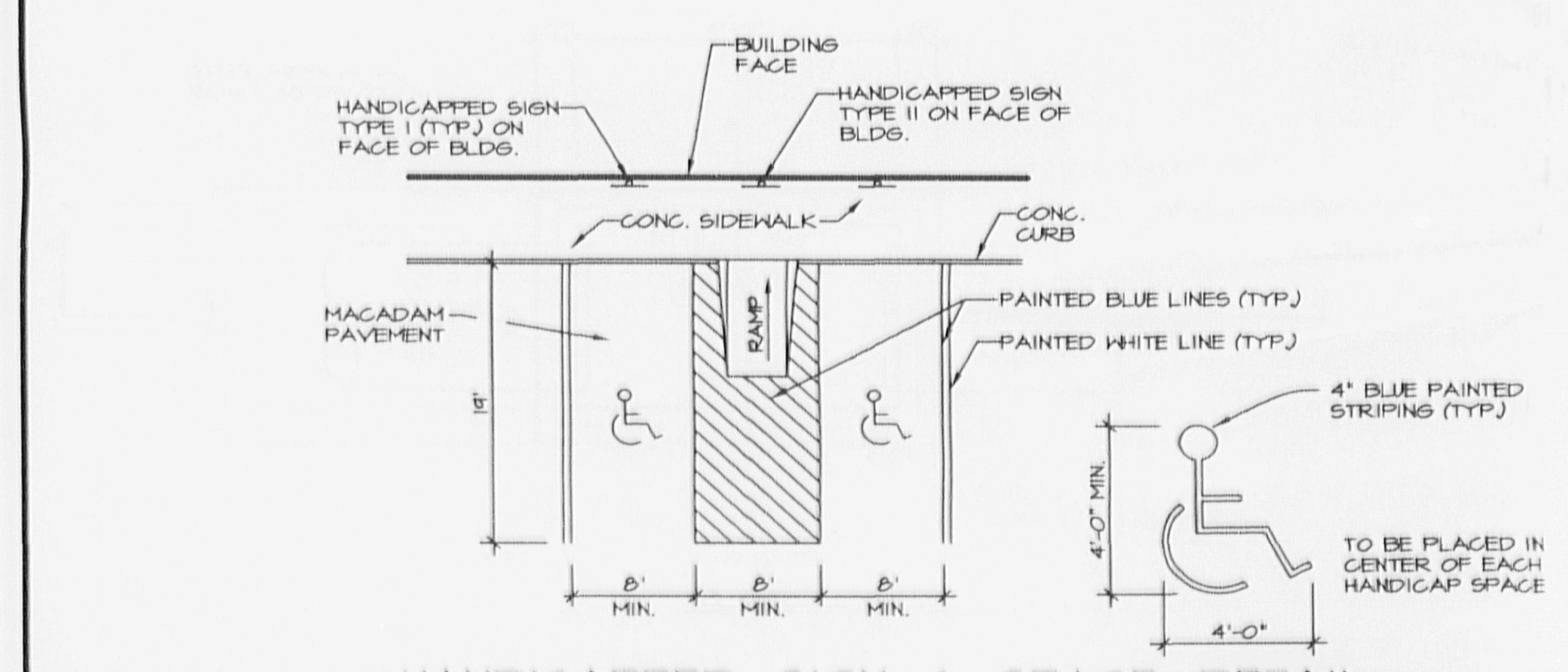
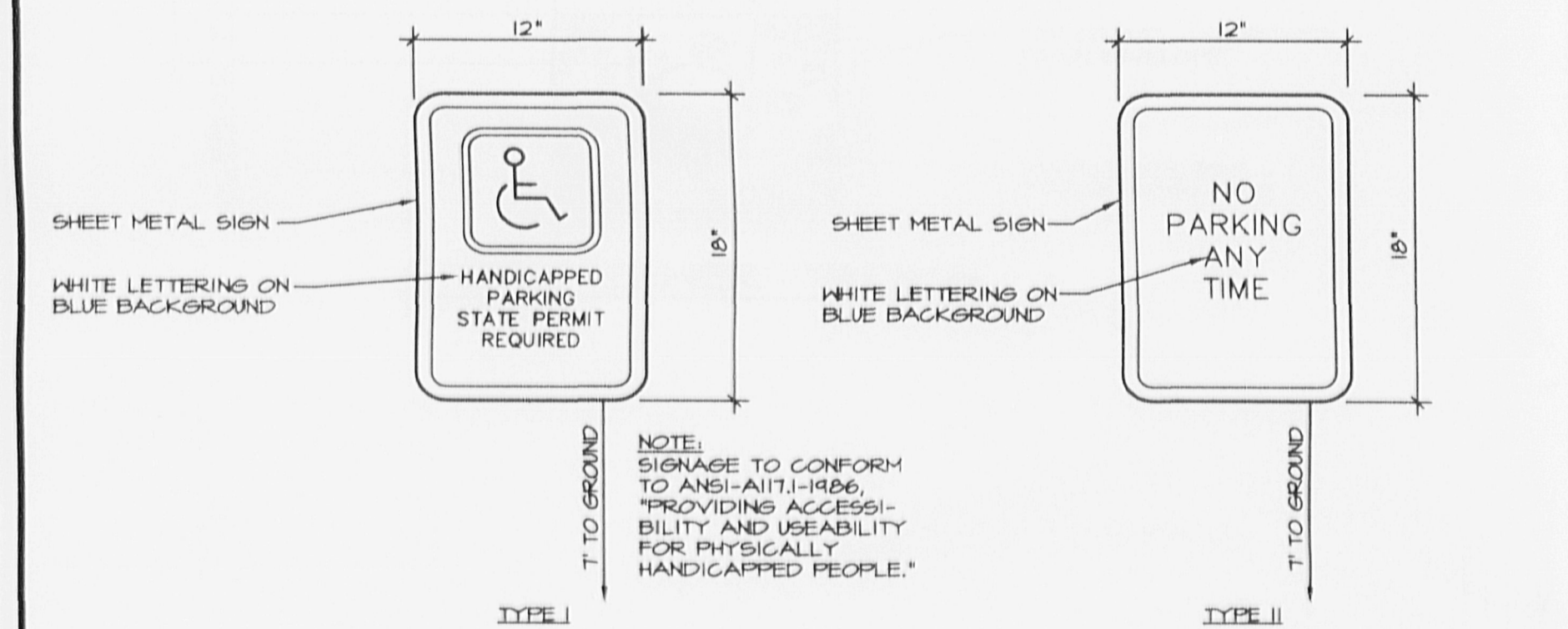
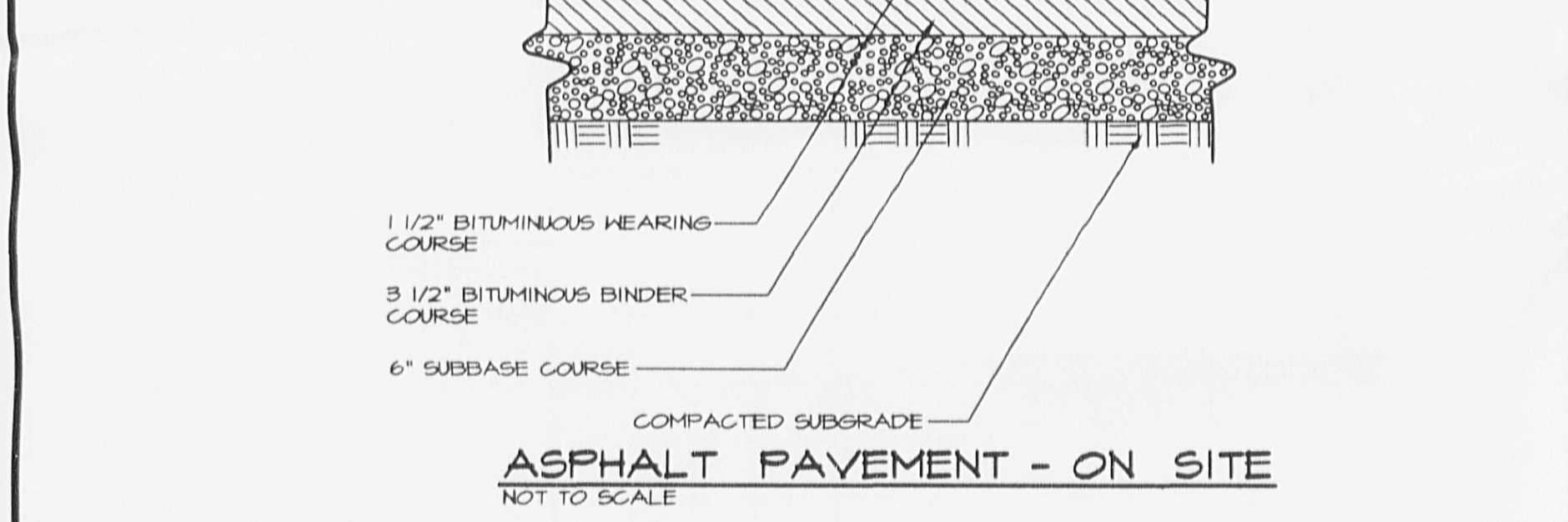
- NOTES**
- ZONING DISTRICT: C-1 DESIGN SHOPPING
 - RECORD OWNER & APPLICANT: NORTH PLANK DEVELOPMENT COMPANY, L.L.C. 5020 ROUTE 94 NEWBURGH, NEW YORK 12550
 - TOTAL PARCEL AREA: 3.044 ACRES
 - TAX MAP DESIGNATION: SECTION 66, BLOCK 2, LOT 12.22
 - DEED REFERENCE: LIBER 2791 OF DEEDS, PAGE 171
 - BOUNDARY, TOPOGRAPHIC AND UTILITY SURVEY INFORMATION OBTAINED FROM DRAWING ENTITLED "LAND SURVEY PREPARED FOR NORTH PLANK DEVELOPMENT COMPANY PREPARED BY ANTHONY A. SORACE P.L.S. AND DATED JULY 12, 2003."
 - THE LOCATIONS OF EXISTING UTILITIES ARE TO BE CONSIDERED AS APPROX. PRIOR TO EXCAVATION THE CONTRACTOR SHALL VERIFY THEIR LOCATIONS.
 - UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION (U.F.P.O.), SECTION 119B OF THE PUBLIC SERVICE LAW, ARTICLE 96 OF THE GENERAL BUSINESS LAW AND INDUSTRIAL CODE RULE 53 REQUIRES (2) WORKING DAYS NOTICE BEFORE EXCAVATION, DRILLING OR BLASTING, UNDERGROUND UTILITIES CALL CENTER TEL NO. 1-800-462-7462. CONTRACTOR SHALL PROTECT AND PRESERVE UTILITY MARKINGS.
 - SIGHT DISTANCES AT THE INTERSECTION OF THE PROJECT ENTRANCE AND TEMPLE HILL ROAD (N.Y.S. ROUTE 300) WERE MEASURED FROM A POINT 3.75 FEET ABOVE THE GROUND SURFACE AND 12 FEET BACK FROM THE PROJECT ENTRANCE'S INTERSECTION WITH THE EDGE OF PAVEMENT OF TEMPLE HILL ROAD (N.Y.S. ROUTE 300) TO A POINT 4.5 FEET ABOVE THE ROAD SURFACE ON TEMPLE HILL ROAD (N.Y.S. ROUTE 300) AT THE POINT SIGHTED.
 - PROJECT PARCEL IS SITUATED BETWEEN HIGHWAY MARKERS 300-8302-1124 AND 300-8302-1125.

LEGEND	
EXISTING	NEW
BB 2' CONTOUR	FINISHED GRADE
BB 10' CONTOUR	CATCH BASIN NO. 7
BB BOUNDARY	MANHOLE NO. 2
BB ADJ. PROPERTY LINE	HYDRANT
BB SANITARY MANHOLE	CURB VALVE
BB UTILITY POLE	WATER VALVE
BB SPOT ELEVATION 91.13	FLARED END SECTION
BB STONEWALL	POLE W/ LUMINAIRE
	HALL PACK LIGHTING
	SPOT ELEVATION 81.4
	MACADAM PAVEMENT

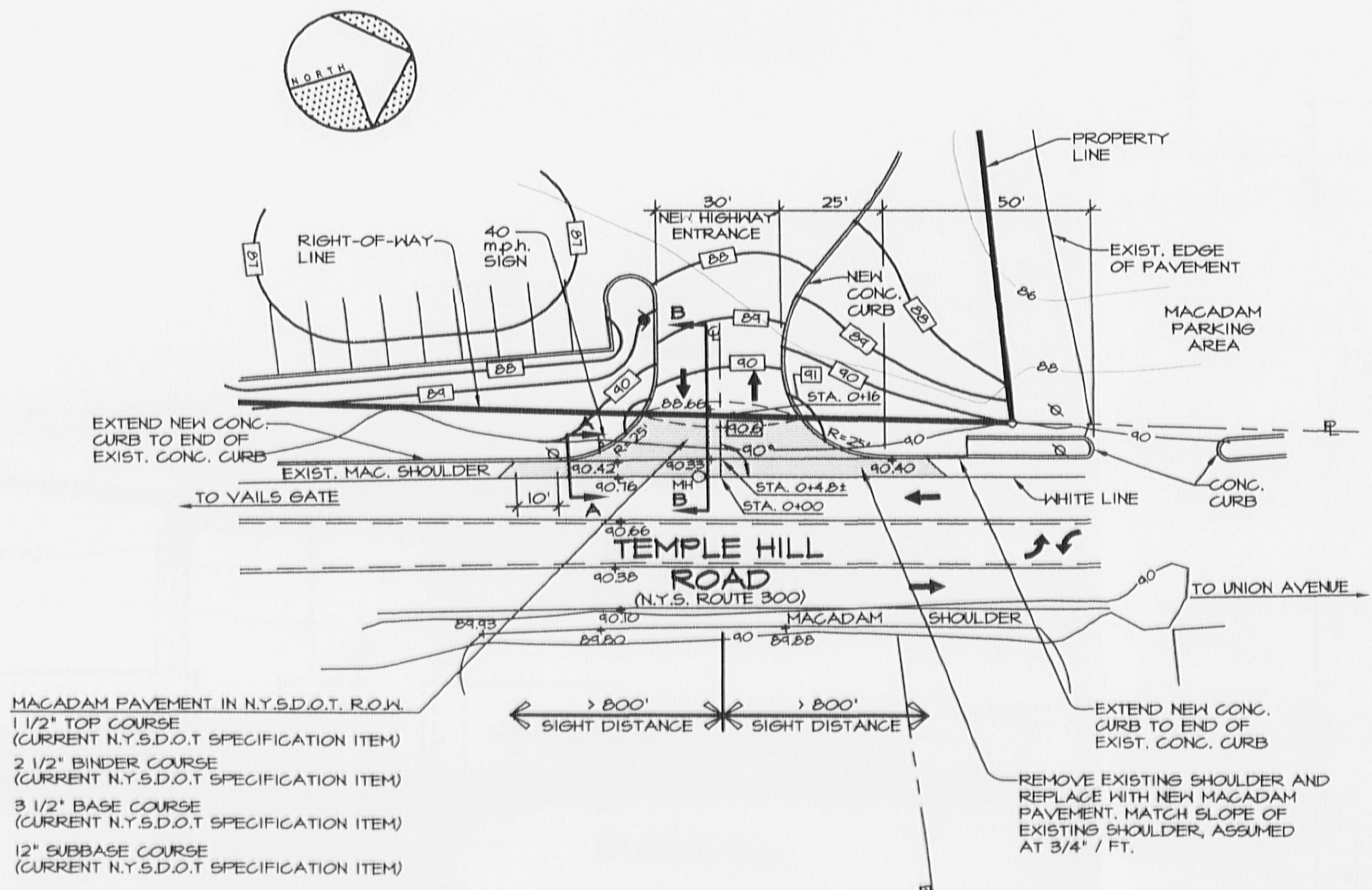
TOWN OF NEW WINDSOR PLANNING BOARD
STAMP OF APPROVAL



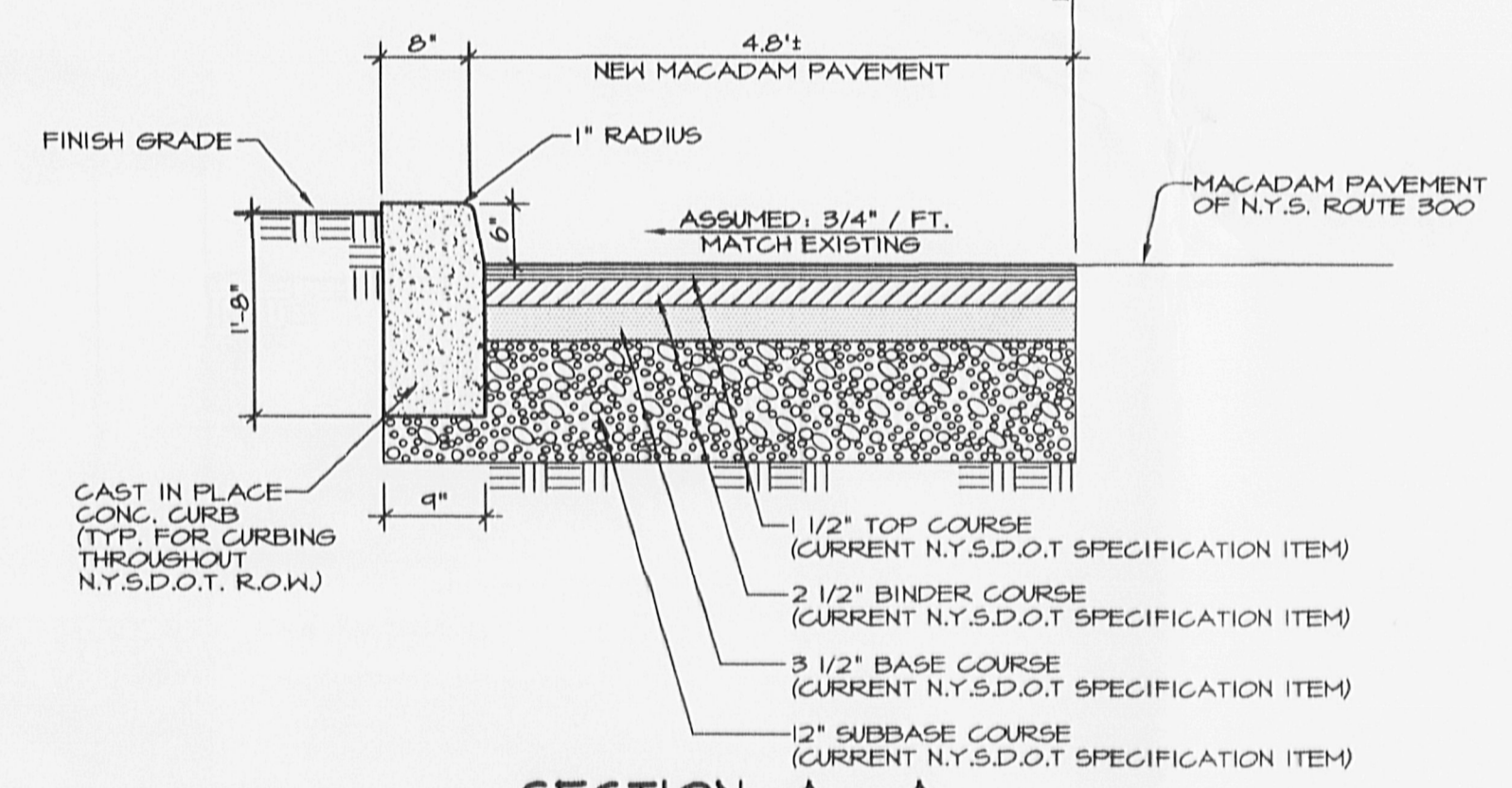
DRAWINGS ARE INVALID AND INCOMPLETE UNLESS ACCOMPANIED BY DRAWINGS 1 OF 4 THROUGH 4 OF 4.



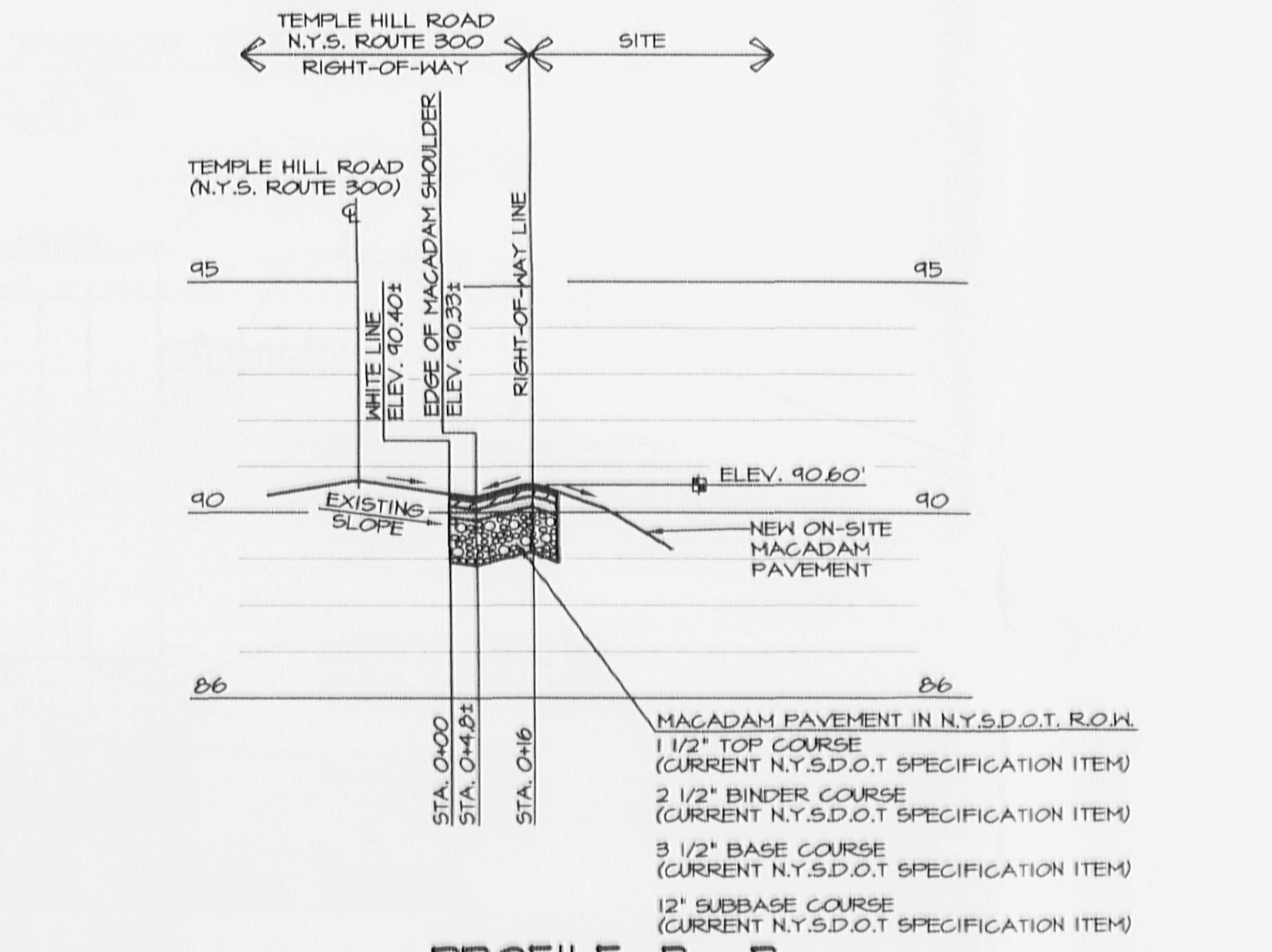
HANDICAPPED SIGN & SPACE DETAIL
NOT TO SCALE



HIGHWAY ENTRANCE PLAN
SCALE: 1"=30'



SECTION A-A
HIGHWAY ENTRANCE - N.Y.S.D.O.T. R.O.W.
NOT TO SCALE



PROFILE B-B
SCALE: VERT. 1"=8' HORIZ. 1"=30'

Shaw Engineering
Consulting Engineers
744 Broadway Newburgh, N.Y. 12550

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.

COPIES FROM THE ORIGINAL OF THIS DOCUMENT WITHOUT A FACSIMILE OF THE SIGNATURE AND AN ORIGINAL OF THE STAMP OR EMBOSSED SEAL OF THE PROFESSIONAL ENGINEER SHALL NOT BE CONSIDERED VALID TRUE COPIES.

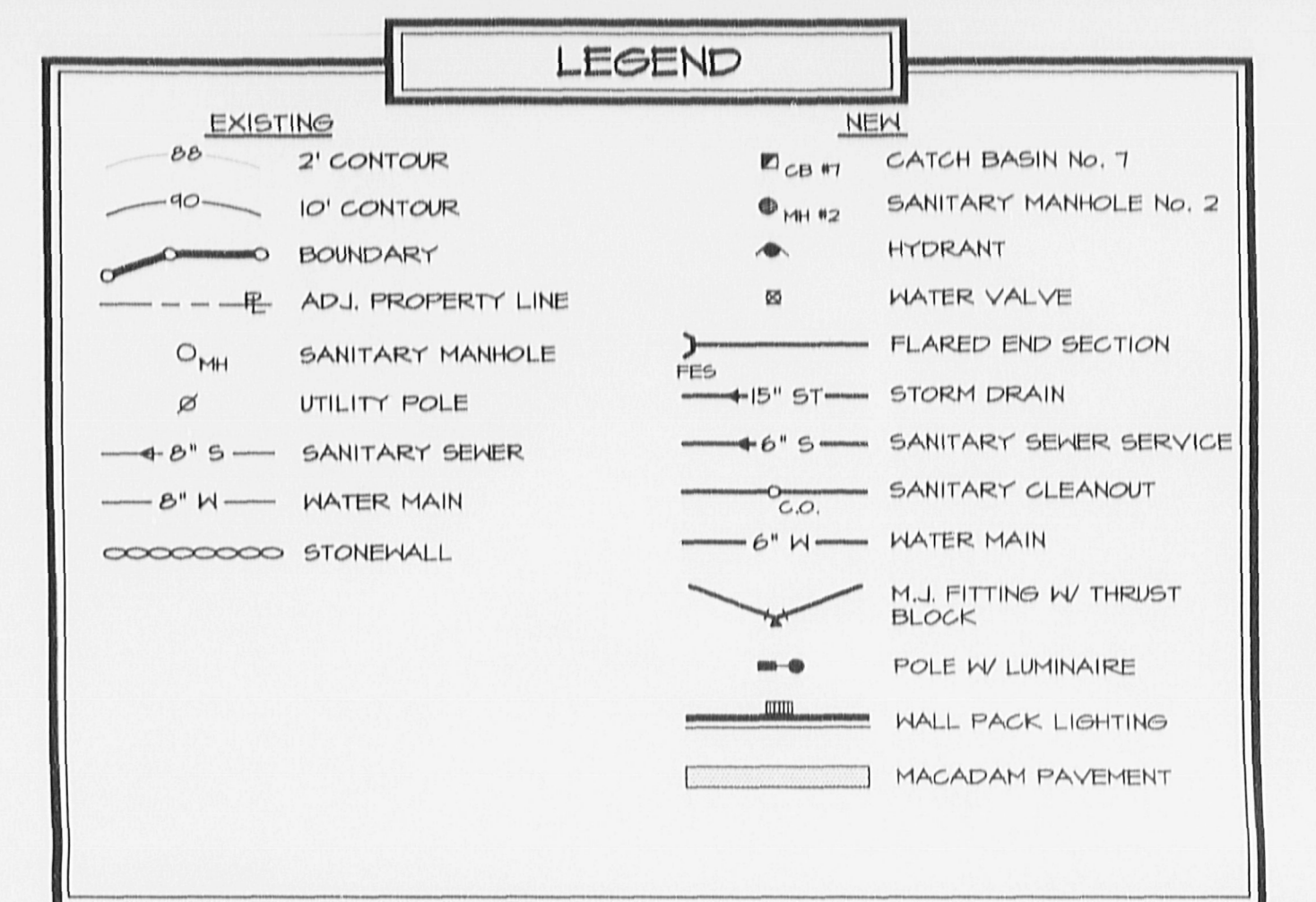
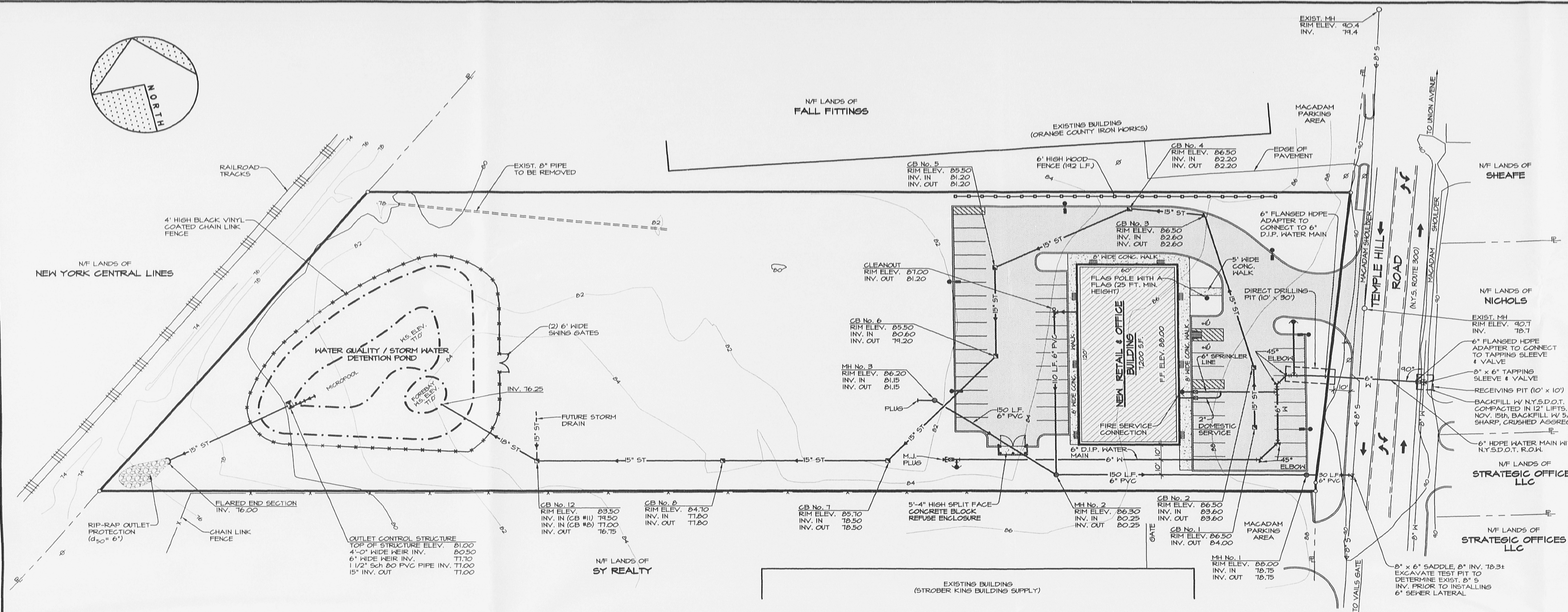
COPYRIGHT 2007 SHAW ENGINEERING

ISSUE	REVISION	DATE
3	ADDED FLAG POLE AND WOOD FENCE	3-30-2007
2	INCREASED SIZE OF BLDG.	1-26-2007
1	DELETED BLDG. NO. 2	11-3-2006

Drawn By: J.R.J.
Checked By: G.J.S.
Scale: 1"=30'
Date: 11-30-2004

Drawing: SITE DEVELOPMENT / GRADING PLAN
Project: NEW RETAIL / OFFICE BUILDING FOR NORTH PLANK DEVELOPMENT COMPANY, L.L.C.
N.Y.S. ROUTE 300 TOWN OF NEW WINDSOR, N.Y.

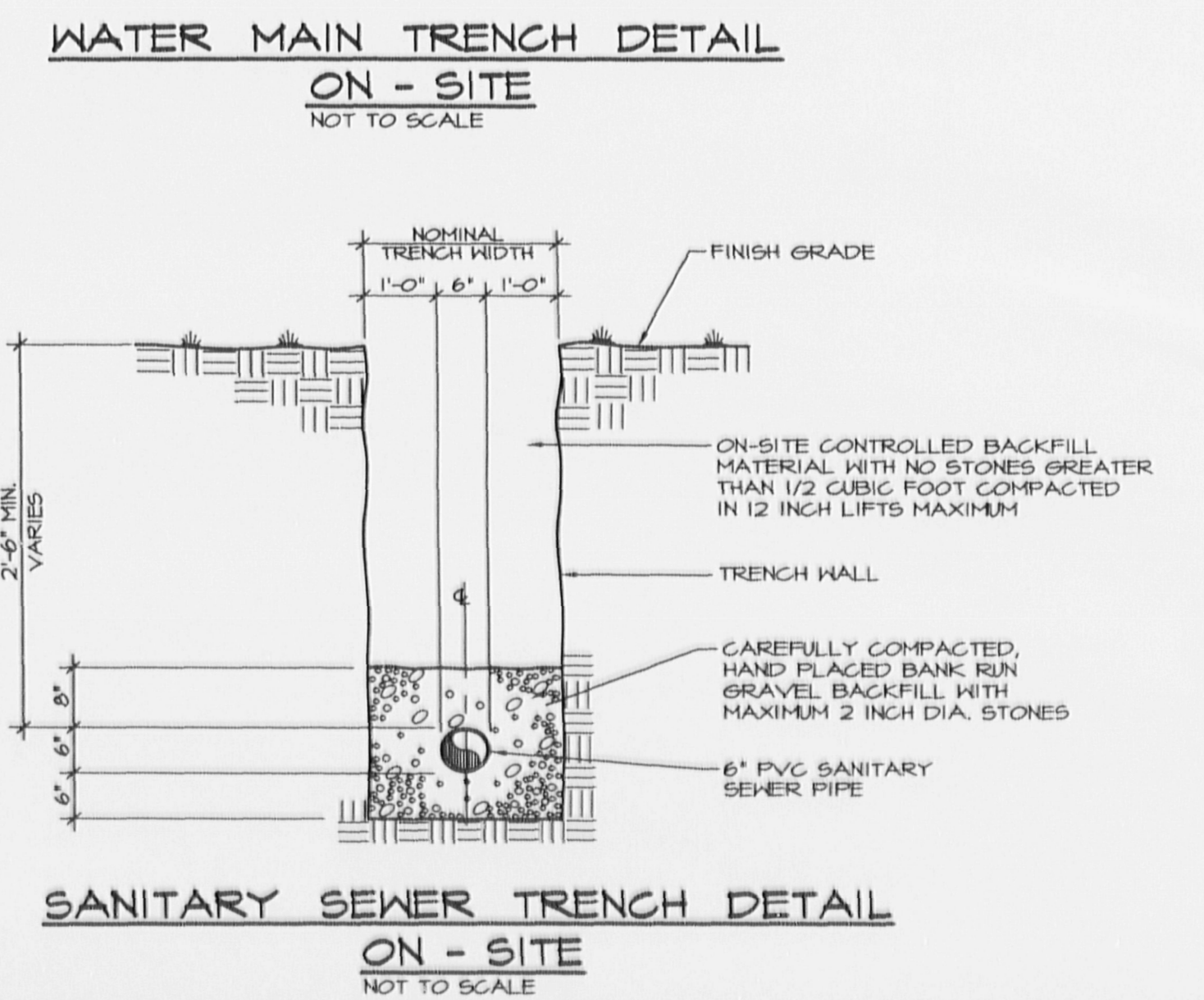
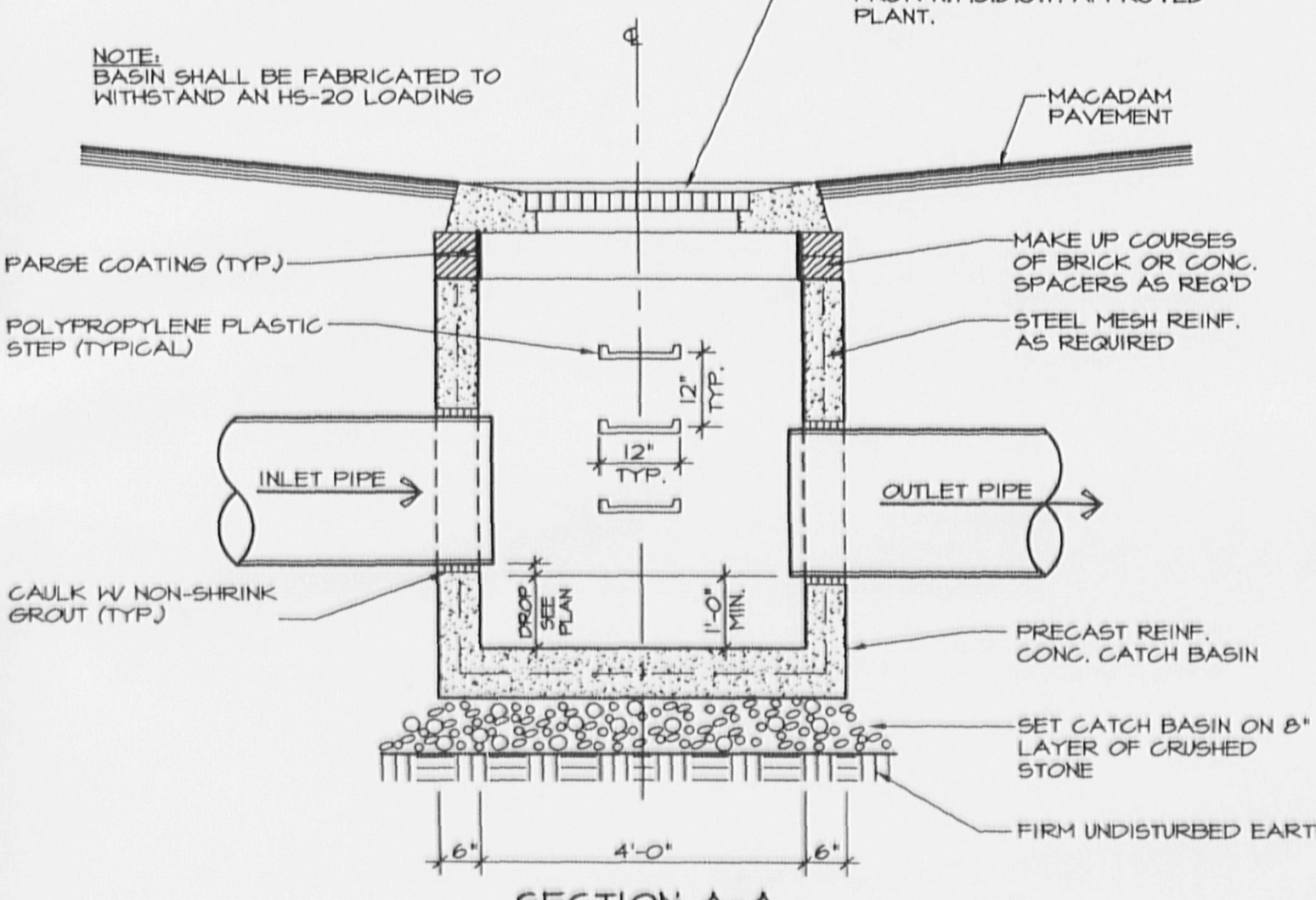
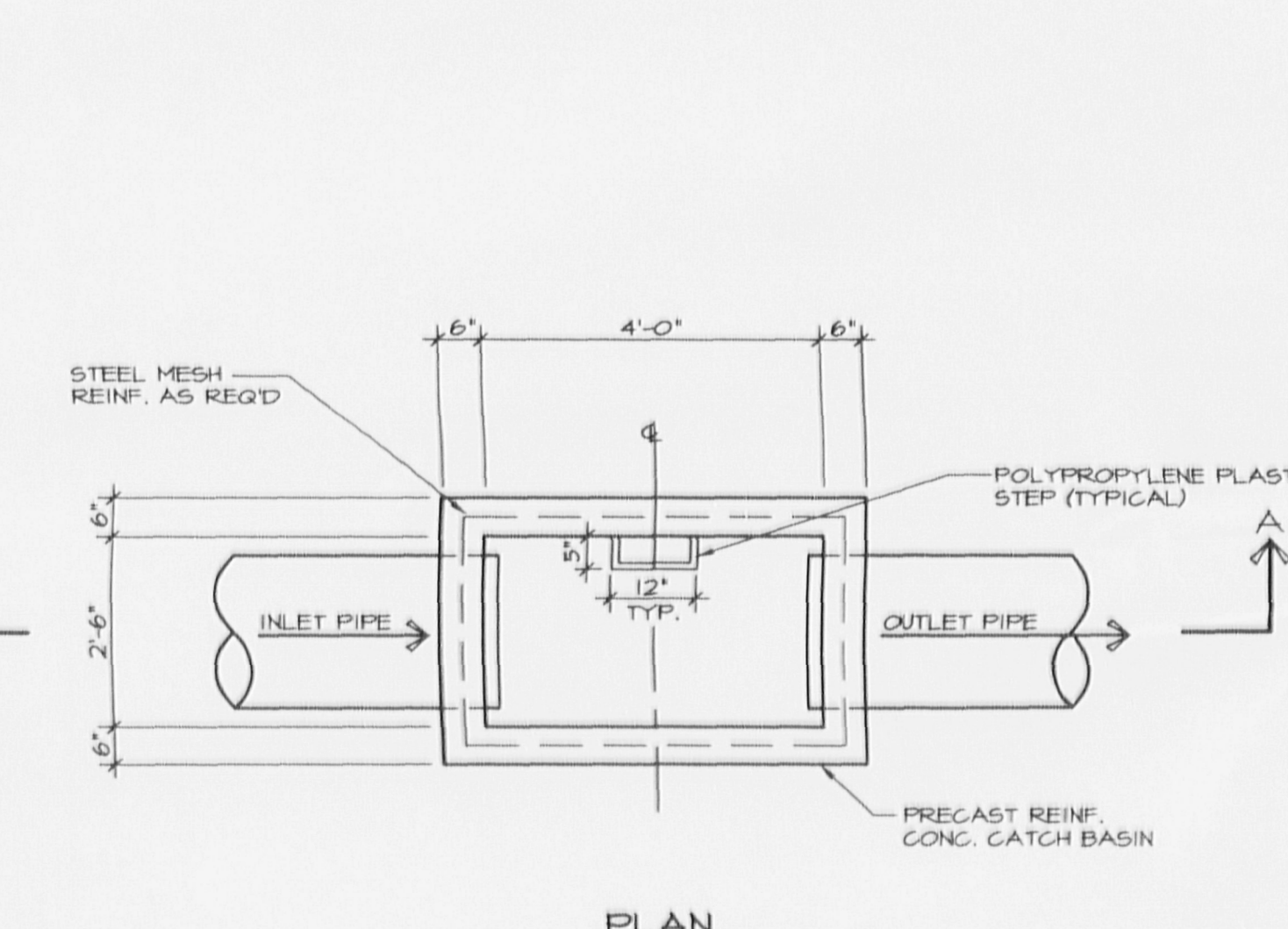
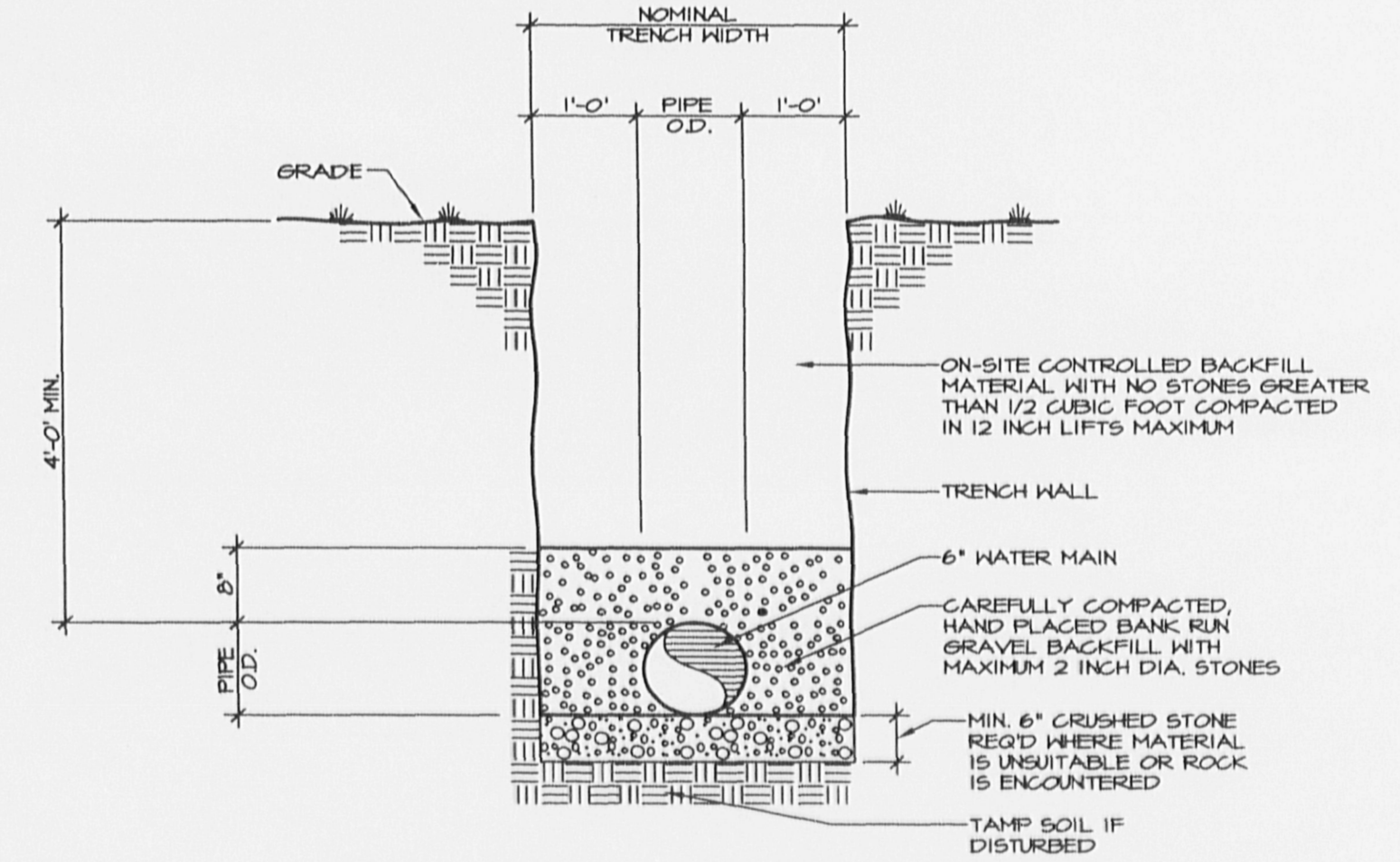
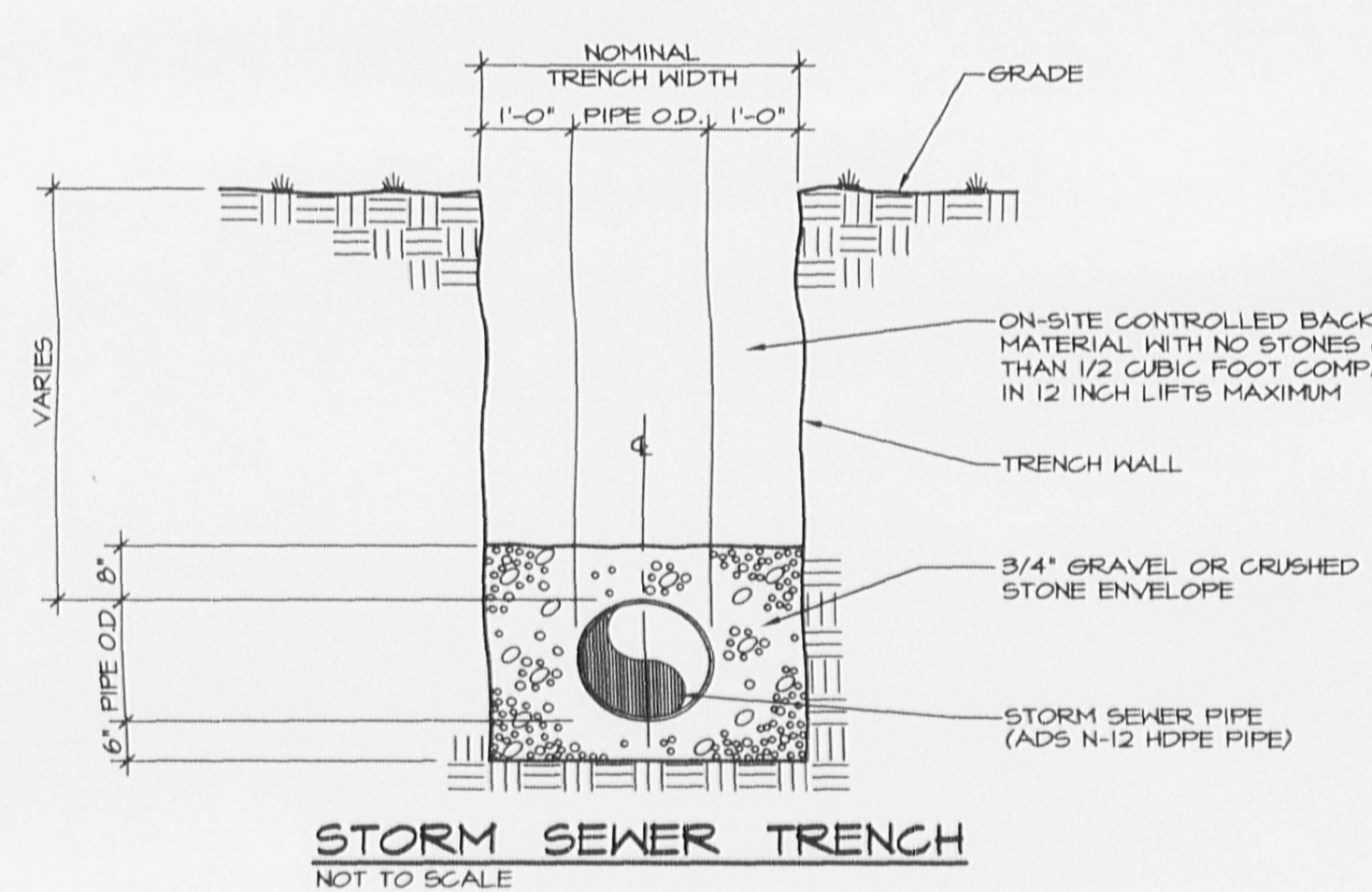
1 OF 4
Project No. 0405



- ### NOTES
- UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION (U.F.P.O.) SECTION 119B OF THE PUBLIC SERVICE LAW ARTICLE 36 OF THE GENERAL BUSINESS LAW AND INDUSTRIAL CODE RULE 53 REQUIRES (2) WORKING DAYS NOTICE BEFORE EXCAVATION, DRILLING OR BLASTING. UNDERGROUND UTILITIES CALL CENTER TEL. NO. 1-800-462-1962. CONTRACTOR SHALL PROTECT AND PRESERVE UTILITY MARKINGS.
 - WHERE REQUIRED, BACKFLOW PREVENTION DEVICES SHALL BE PROVIDED ON THE WATER SERVICE LINES IN ACCORDANCE WITH THE LATEST EDITION OF N.Y.S. DEPT. OF HEALTH PUBLICATION "CROSS CONNECTION CONTROL". BACKFLOW PREVENTION DEVICES SHALL BE DESIGNED BY A LICENSED PROFESSIONAL ENGINEER.
 - PRIOR TO THE INSTALLATION OF THE MET TAP, THE NEW WINDSOR WATER DEPARTMENT SHALL BE CONTACTED TO DETERMINE WHETHER THEY WOULD PREFER A "CUT IN" INSTALLATION IN LIEU OF THE MET TAP.

- ### UTILITY MATERIAL SPECIFICATIONS
- SANITARY SEWER: PVC SDR-35
 STORM SEWERS: ADS N-12 PVC PIPE
 6" WATER MAIN WITHIN N.Y.S.D.O.T. R.O.W.: 6" HDPE, DR9 (200 p.s.i.)
 ON-SITE SPRINKLER SERVICE LINE: CLASS 52 DUCTILE IRON PIPE, CEMENT LINED AND BUTYRUS COATED
 DOMESTIC WATER SERVICE: COPPER, TYPE K

- ### UTILITY INSTALLATION NOTES
- #### WATER SYSTEM
- CONSTRUCTION OF POTABLE WATER UTILITIES AND CONNECTION TO THE TOWN OF NEW WINDSOR WATER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEW WINDSOR WATER DEPARTMENT. ALL REQUIREMENTS SHALL CONFORM TO THE REQUIREMENTS OF THE TOWN OF NEW WINDSOR.
 - OTHER THAN THE CROSSINGS UNDER N.Y.S. ROUTE 300, ALL WATER SERVICE LINES SHALL BE CEMENT LINED CLASS 52 DUCTILE IRON PIPE CONFORMING TO ANSI/AWWA C151/A21.51-41 FOR DUCTILE IRON PIPE. JOINTS SHALL BE EITHER PUSH-ON OR MECHANICAL JOINT AS REQUIRED.
 - ALL FITTINGS SHALL BE CAST IRON OR DUCTILE IRON, MECHANICAL JOINT, CLASS 250 AND CONFORM TO ANSI/AWWA C110/A21.10-43 FOR DUCTILE AND GRAY IRON FITTINGS OR ANSI/AWWA C153/A21.53-44, FOR DUCTILE IRON COMPACT FITTINGS.
 - ALL VALVES SHALL BE DOUBLE DISC, MECHANICAL JOINT GATE VALVES CONFORMING TO ANSI/AWWA C500-43 SUCH AS MUELLER A-2380-23 OR APPROVED EQUAL.
 - TAPPING SLEEVE SHALL BE MECHANICAL JOINT SUCH AS MUELLER H-615 OR EQUAL. TAPPING VALVE SHALL BE DOUBLE DISC, MECHANICAL JOINT BY FLANGED END SUCH AS MUELLER H-667 OR EQUAL. ALL TAPPING SLEEVES AND VALVES SHALL BE TESTED TO 150 P.S.I. MINIMUM. TESTING OF THE TAPPING SLEEVE AND VALVE MUST BE WITNESSED AND ACCEPTED BY THE TOWN OF NEW WINDSOR WATER DEPARTMENT PRIOR TO CUTTING INTO THE PIPE.
 - WATER SERVICE LINE SHALL BE TYPE K COPPER TUBING. CORPORATION STOPS SHALL BE MUELLER B-25000. CURB VALVES SHALL BE MUELLER B-25204. CURB BOXES SHALL BE MUELLER H-10310.
 - ALL PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEW WINDSOR WATER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEW WINDSOR WATER DEPARTMENT.
 - THE WATER MAIN SHALL BE TESTED, DISINFECTED, FLUSHED, AND BACTERIOLOGICAL TESTED IN ACCORDANCE WITH THE TOWN OF NEW WINDSOR REQUIREMENTS. ALL TESTING, DISINFECTION AND FLUSHING SHALL BE COORDINATED WITH THE TOWN OF NEW WINDSOR WATER DEPARTMENT. PRIOR TO FITTING THE WATER MAIN IN SERVICE SATISFACTORY SANITARY RESULTS FROM A CERTIFIED LAB MUST BE SUBMITTED TO THE TOWN OF NEW WINDSOR WATER DEPARTMENT. THE TEST SAMPLES MUST BE COLLECTED BY A REPRESENTATIVE OF THE TESTING LABORATORY AND WITNESSED BY THE WATER DEPARTMENT.



Shaw Engineering
 Consulting Engineers
 744 Broadway Newburgh, N.Y. 12550

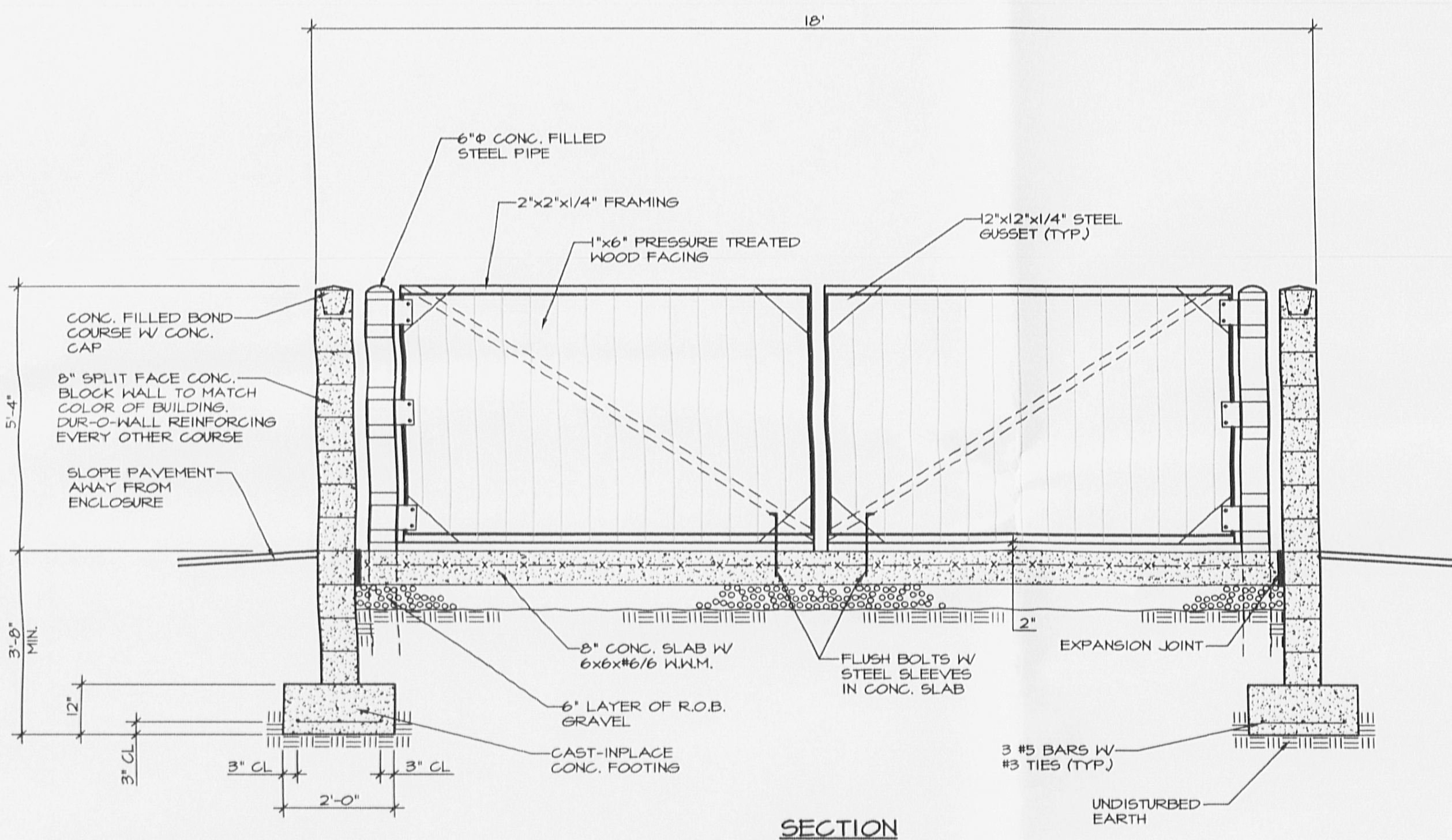
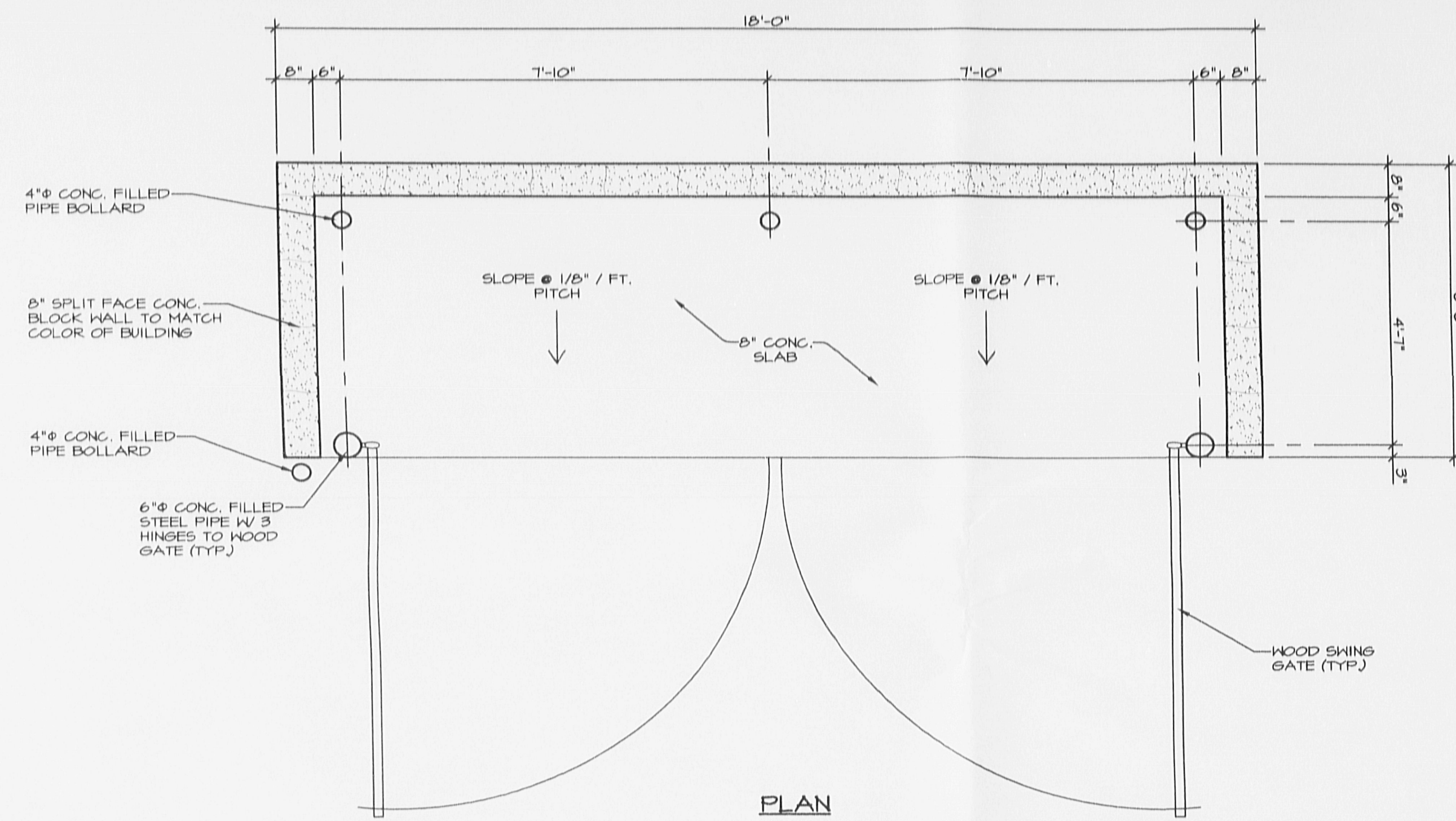
UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.
 COPIES FROM THE ORIGINAL OF THIS DOCUMENT WITHOUT A FACSIMILE OF THE SIGNATURE AND AN ORIGINAL OF THE STAMP OR EMBOSSED SEAL OF THE PROFESSIONAL ENGINEER SHALL NOT BE CONSIDERED VALID TRUE COPIES.
 COPYRIGHT 2007 SHAW ENGINEERING

ISSUE	REVISION	DATE
3	ADDED FLAG POLE AND WOOD FENCE	3-30-2007
2	INCREASED SIZE OF BLDG.	1-26-2007
1	DELETED BLDG. No. 2	11-3-2006

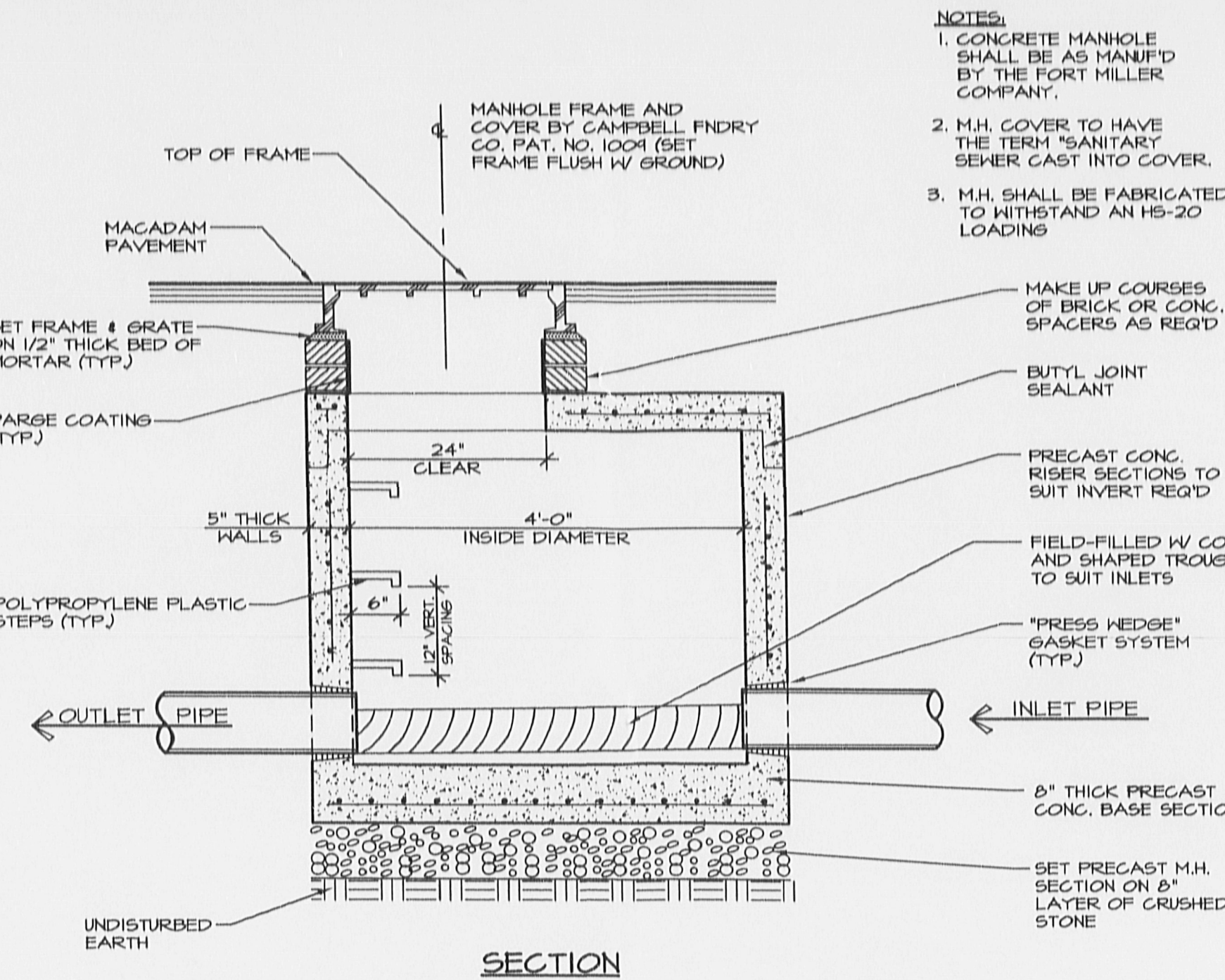
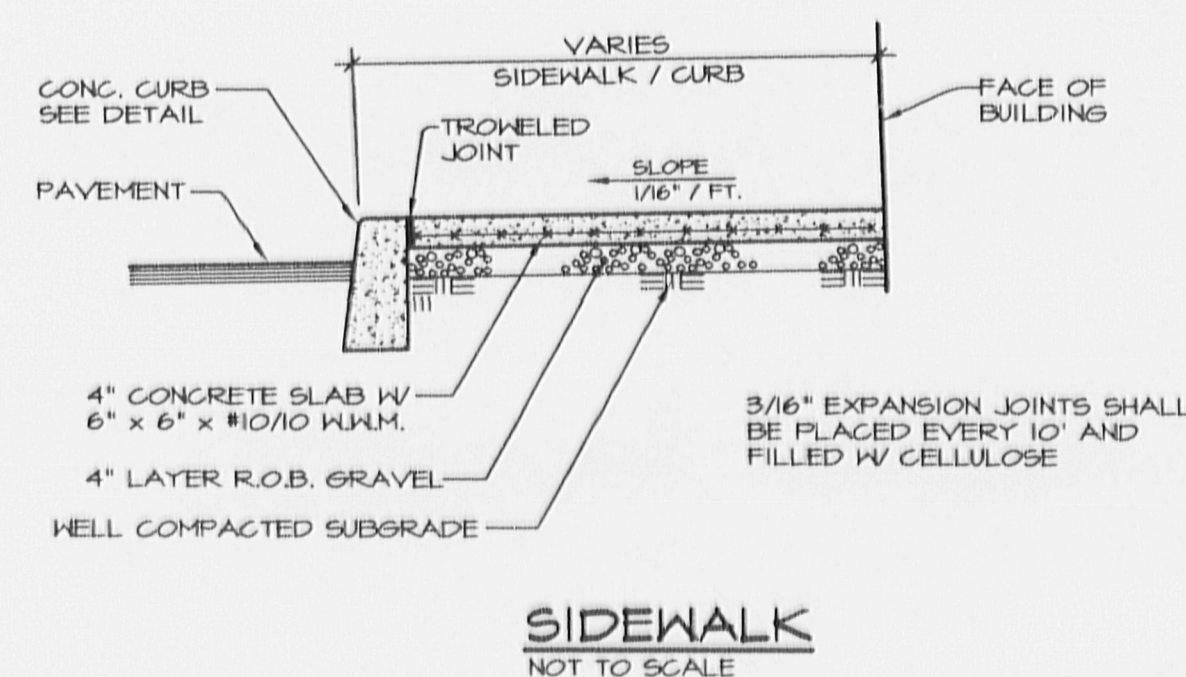
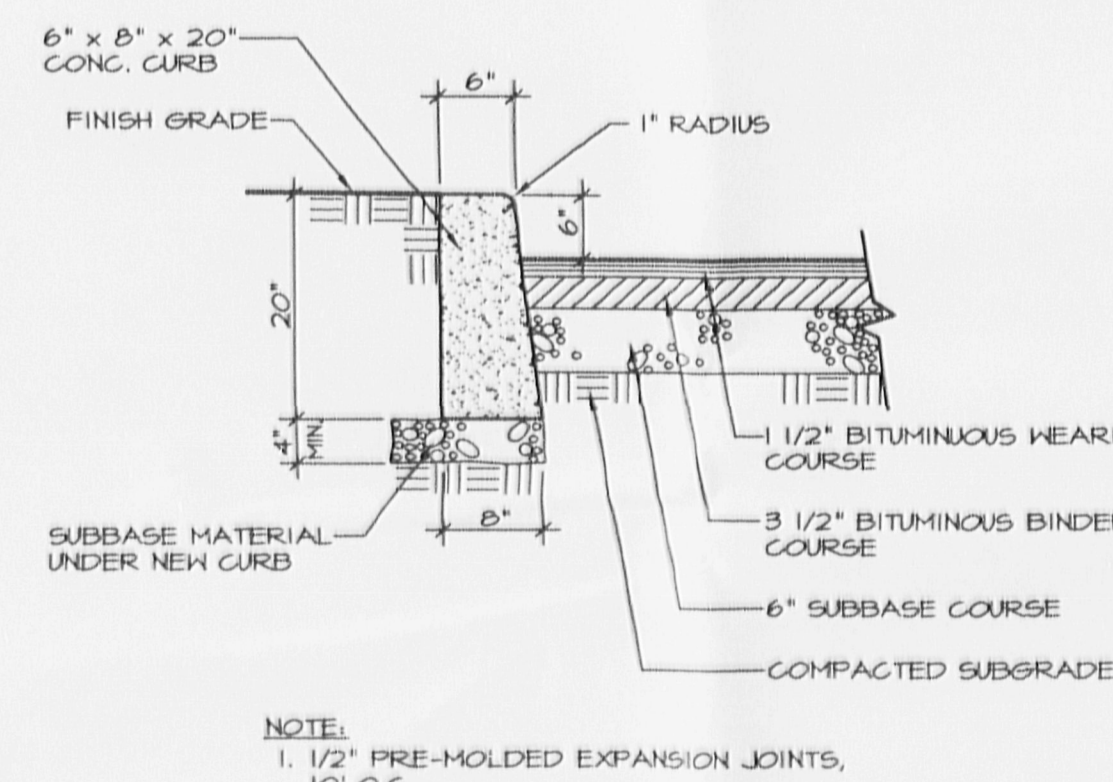
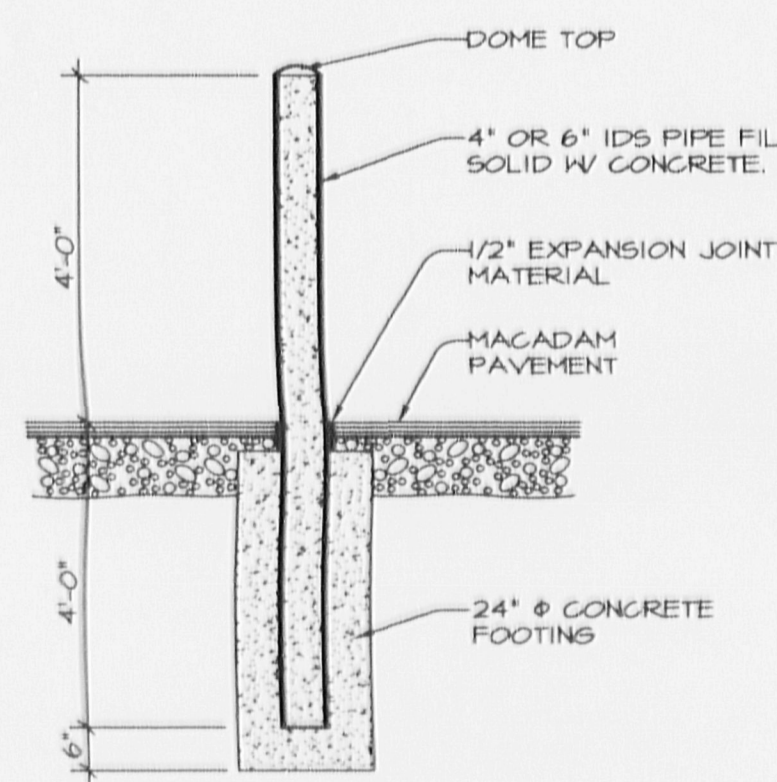
Drawn By: J.R.J.
 Checked By: G.J.S.
 Scale: 1"=30'
 Date: 11-30-2004

Drawing:
 Project: NEW RETAIL / OFFICE BUILDING FOR
NORTH PLANK DEVELOPMENT COMPANY, L.L.C.
 N.Y.S. ROUTE 300 TOWN OF NEW WINDSOR, N.Y.

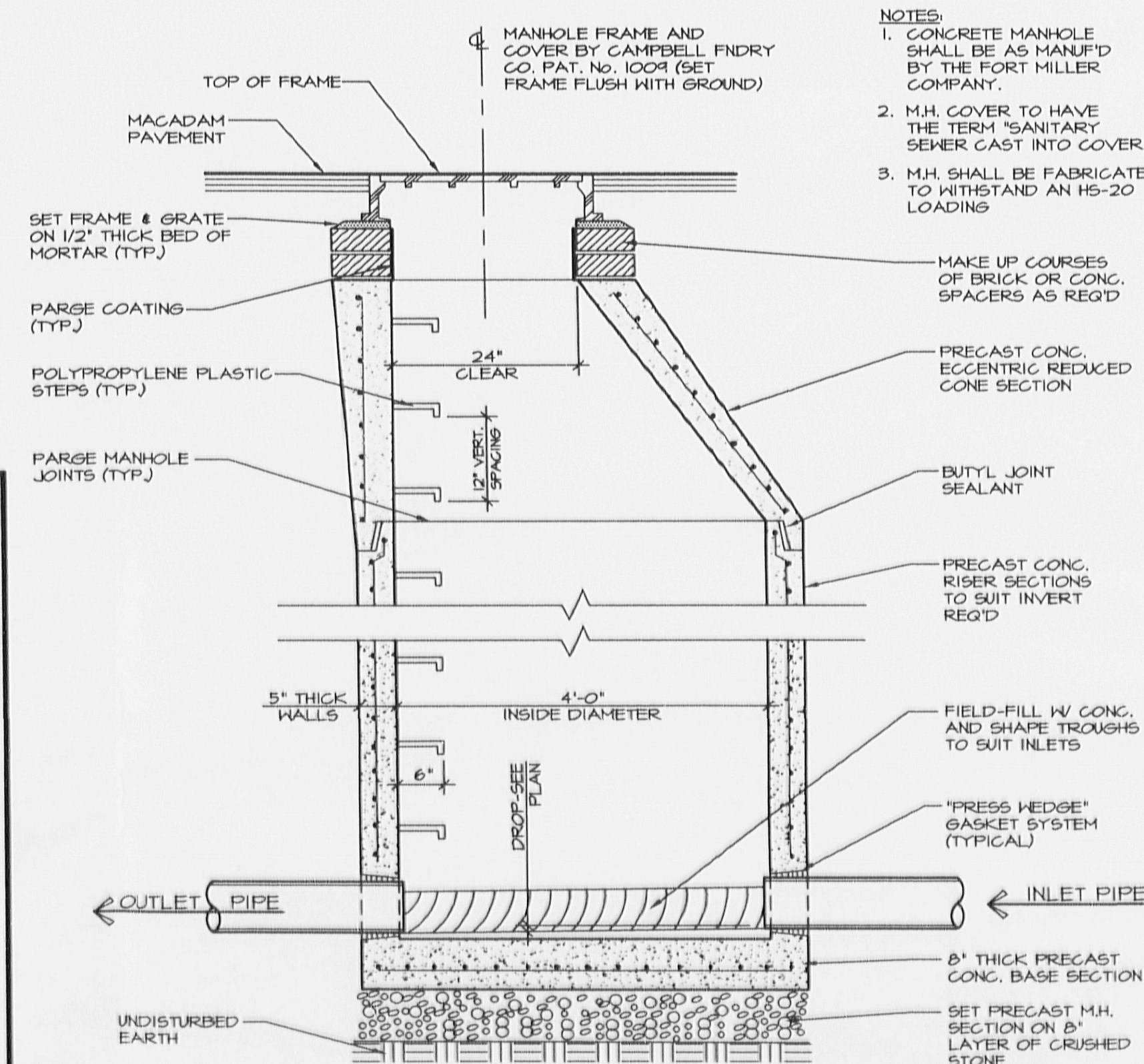
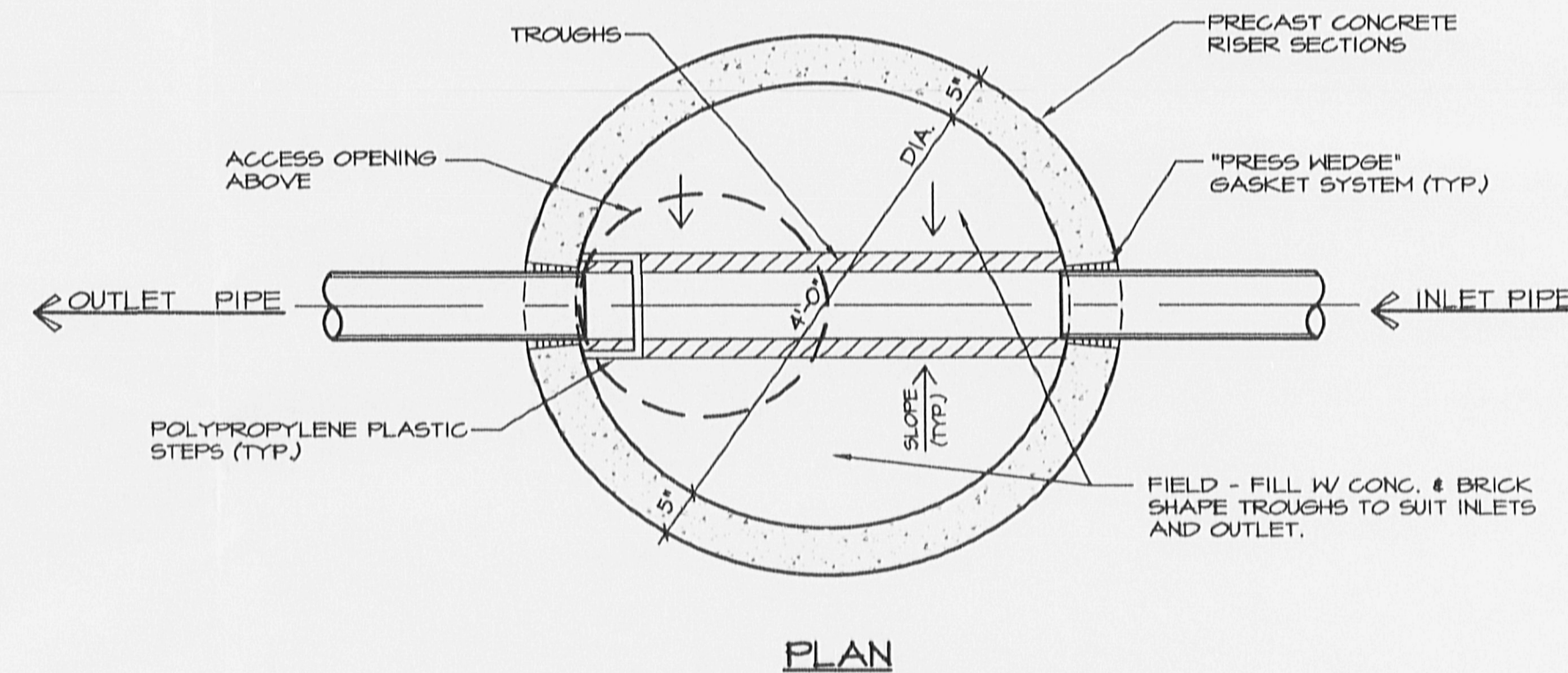
2 OF 9
 Project No. 0405



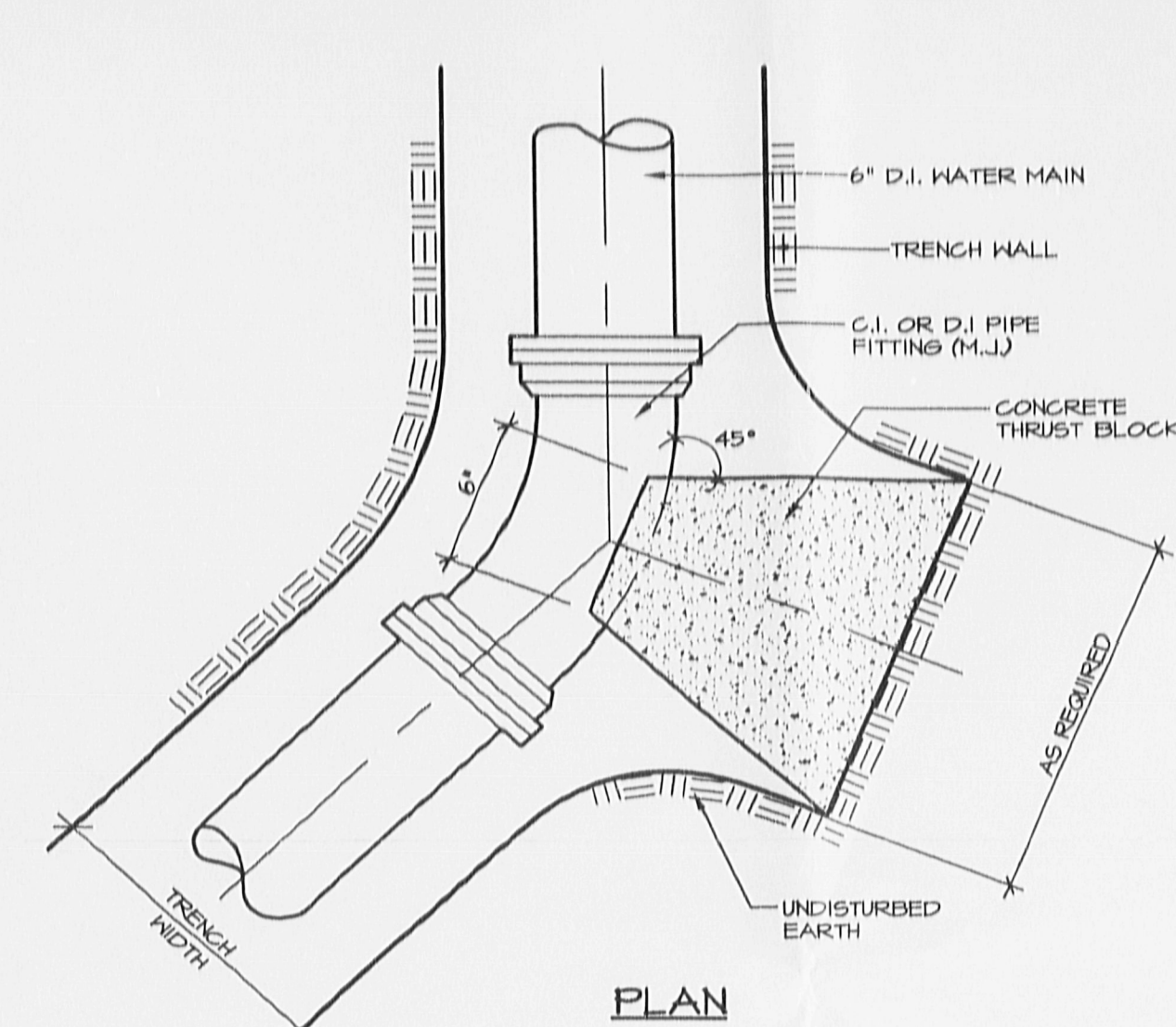
REFUSE ENCLOSURE
NOT TO SCALE



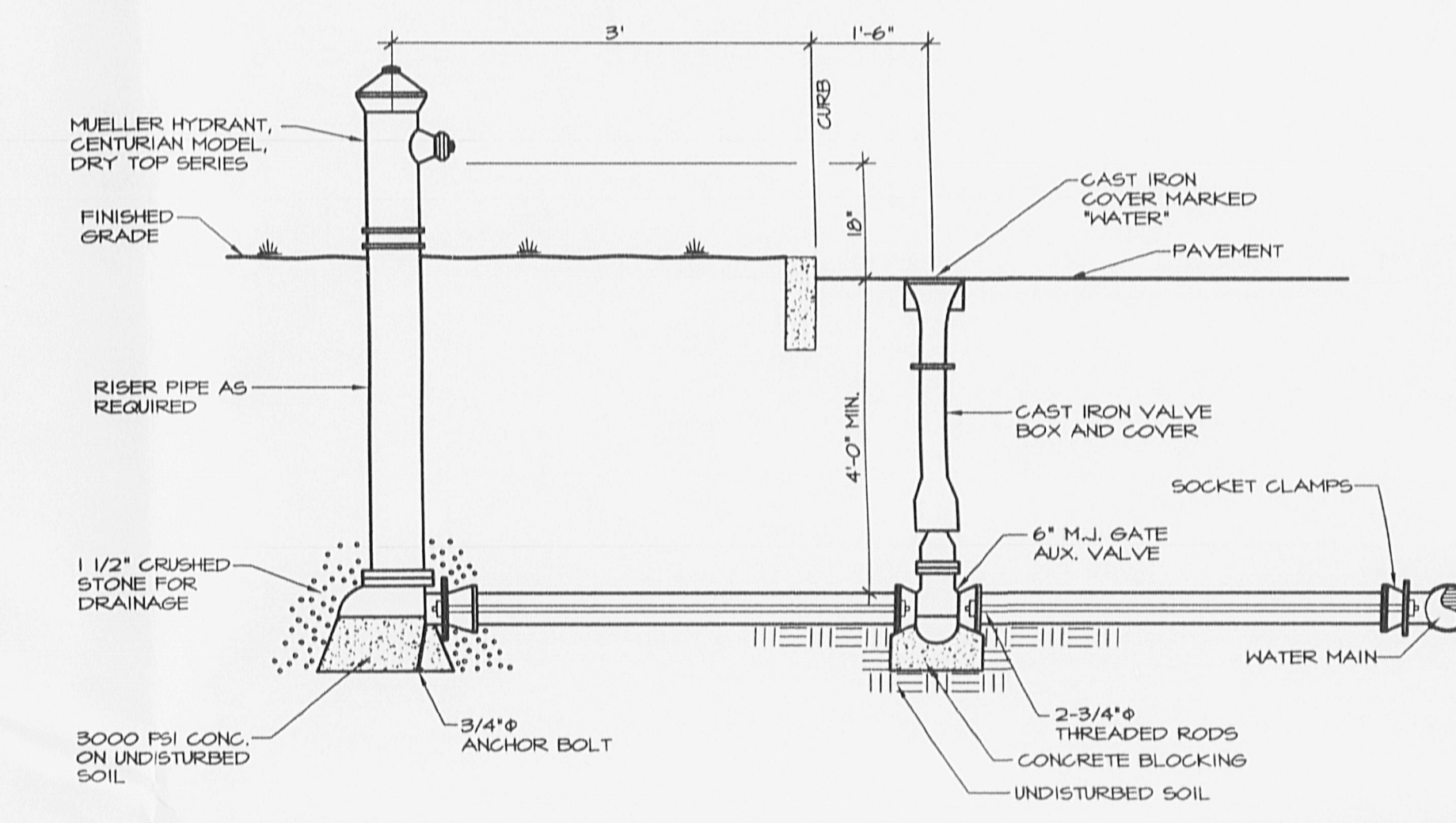
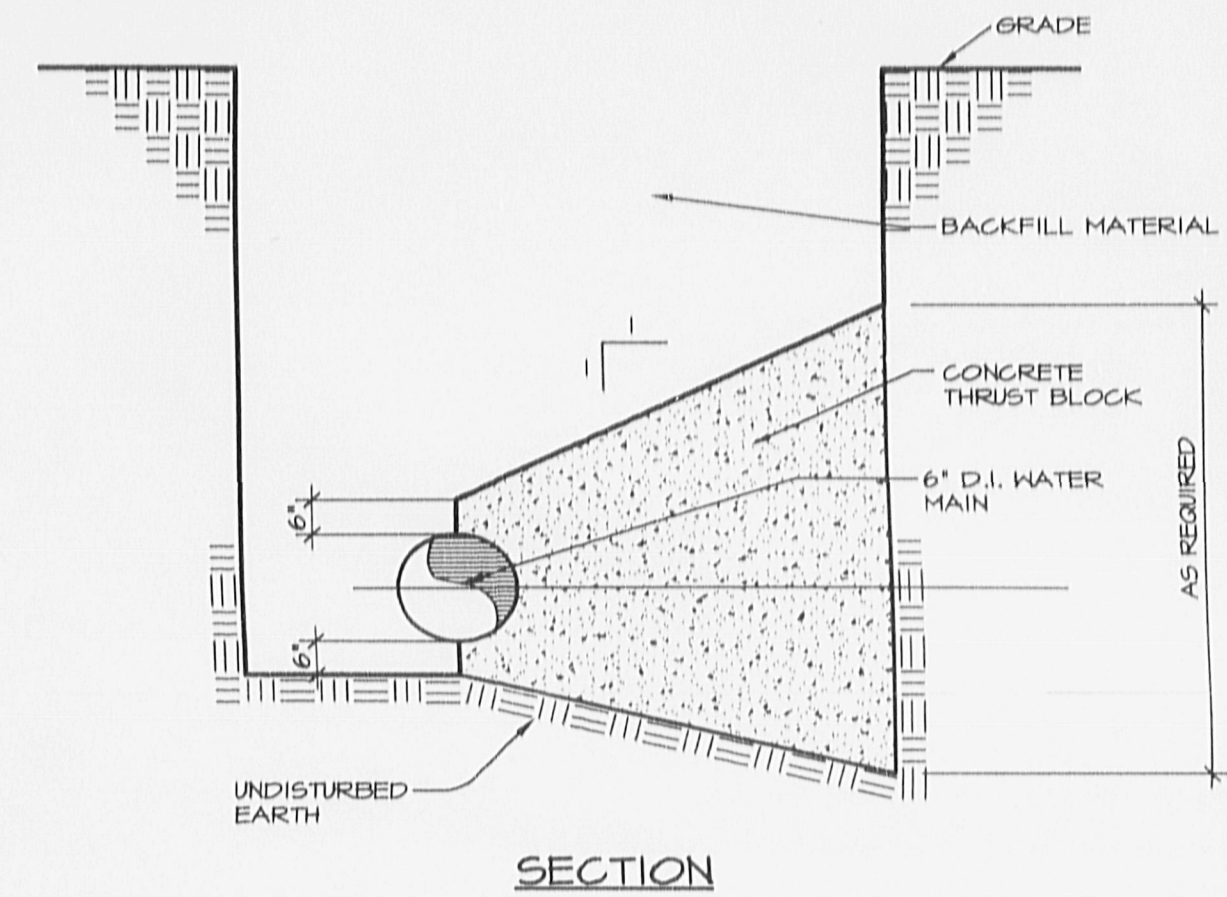
FLAT TOP MANHOLE ASSEMBLY
NOT TO SCALE



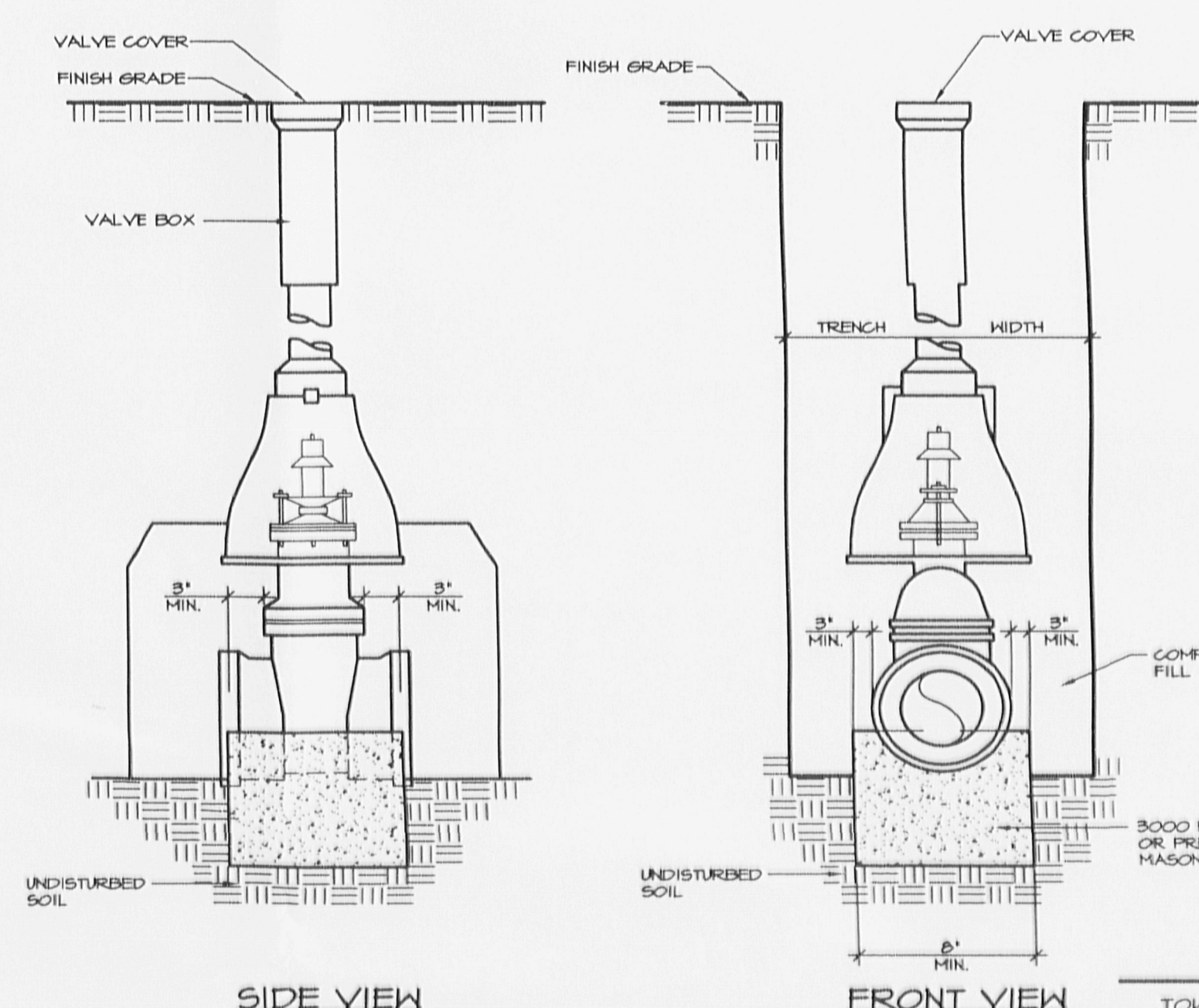
ECCENTRIC CONE MANHOLE ASSEMBLY
NOT TO SCALE



THRUST BLOCK
NOT TO SCALE

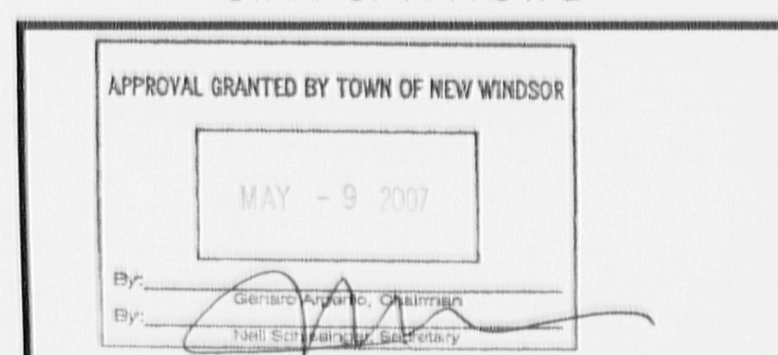


HYDRANT INSTALLATION
NOT TO SCALE



WATER VALVE INSTALLATION DETAIL
NOT TO SCALE

TOWN OF NEW WINDSOR PLANNING BOARD
STAMP OF APPROVAL



DRAWINGS ARE INVALID AND INCOMPLETE UNLESS ACCOMPANIED BY DRAWINGS 1 OF 9 THROUGH 9 OF 9

Shaw Engineering
Consulting Engineers

744 Broadway Newburgh N.Y. 12550

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.

COPIES FROM THE ORIGINAL OF THIS DOCUMENT WITHOUT A FACSIMILE OF THE SIGNATURE AND AN ORIGINAL OF THE STAMP OR EMBOSSED SEAL OF THE PROFESSIONAL ENGINEER SHALL NOT BE CONSIDERED VALID TRUE COPIES.

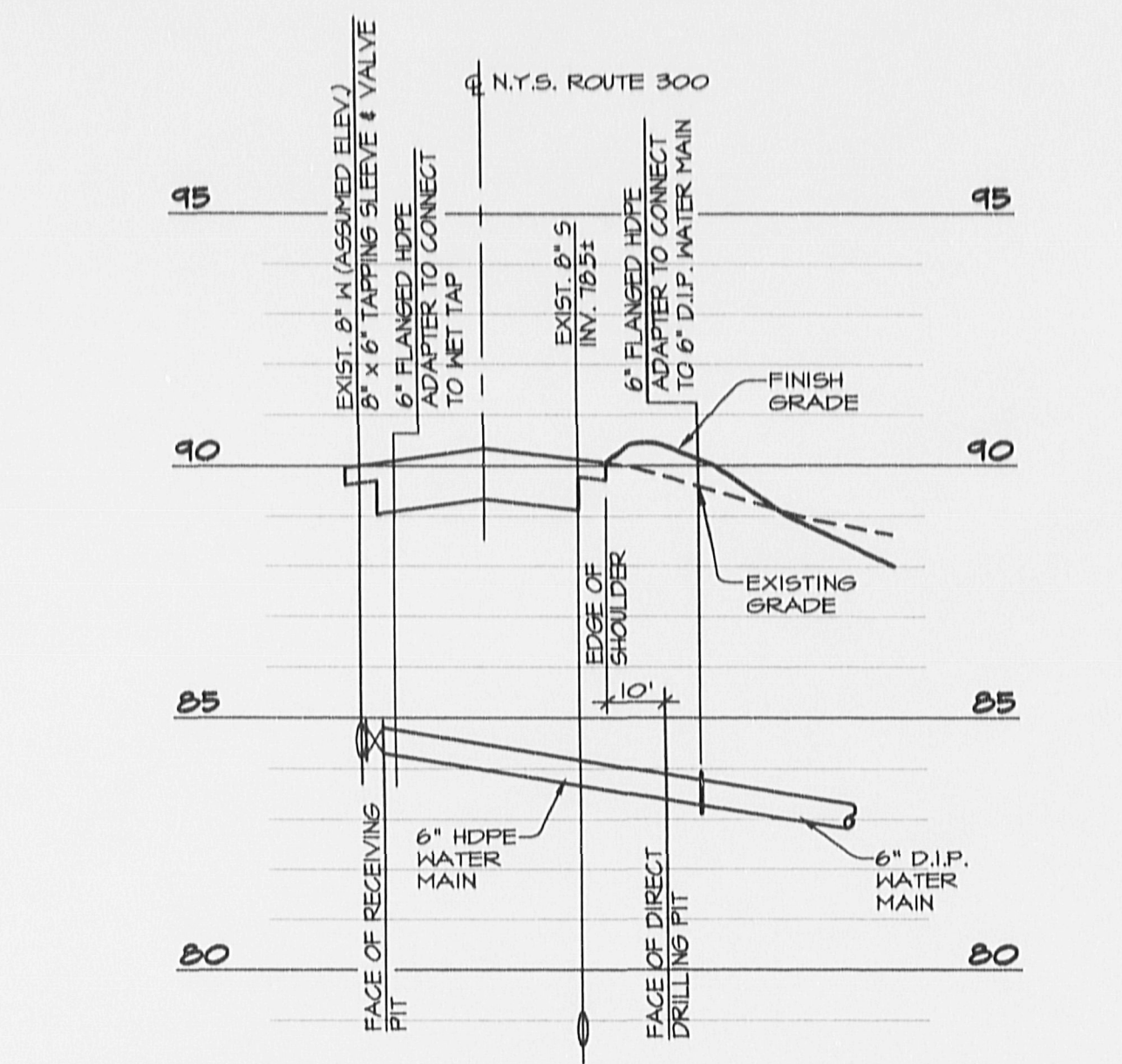
COPYRIGHT 2007 SHAW ENGINEERING

ISSUE	REVISION	DATE
3	NO REVISION	3-30-2007
2	NO REVISION	1-26-2007
1	GENERAL REVISIONS	11-3-2006

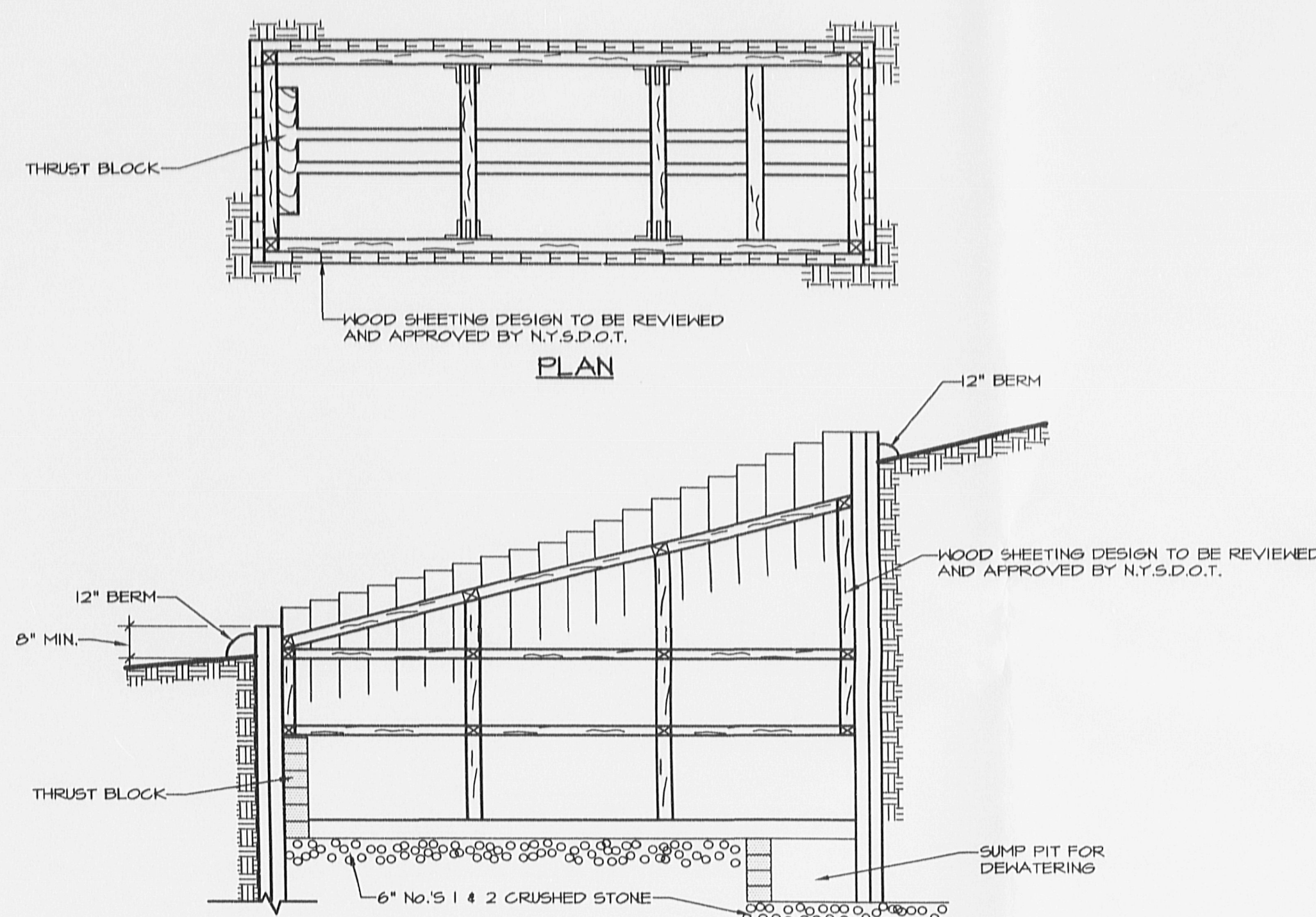
Drawn By: J.R.J.
Checked By: G.J.S.
Scale: AS SHOWN
Date: 11-30-2004

Drawing: SITE DEVELOPMENT & UTILITY DETAILS
Project: NEW RETAIL / OFFICE BUILDING FOR NORTH PLANK DEVELOPMENT COMPANY, L.L.C.
N.Y.S. HIGHWAY RTE. 300 TOWN OF NEW WINDSOR, N.Y.

3 OF 9
Project No. 0405



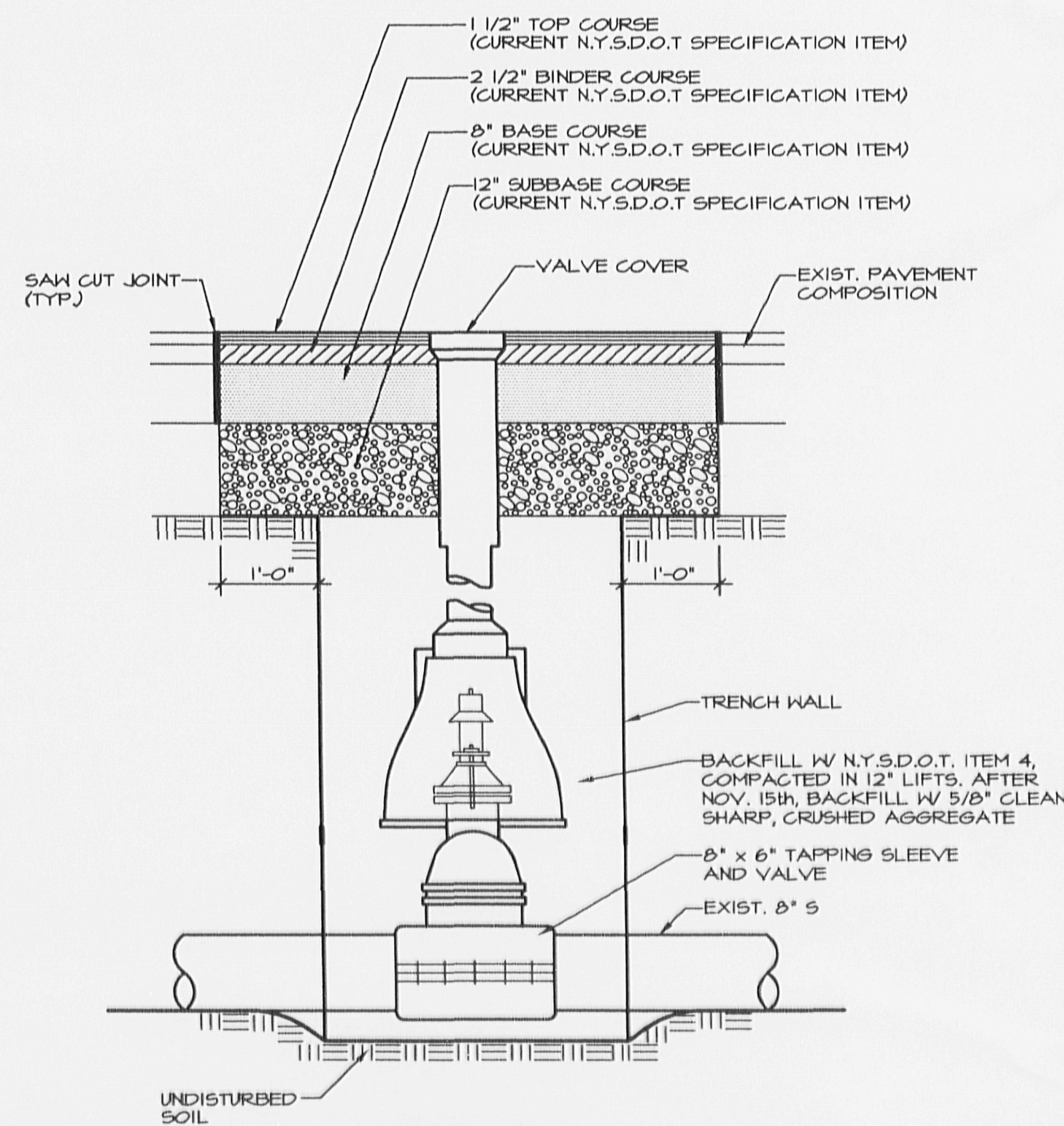
WATER MAIN PROFILE - N.Y.S.D.O.T. R.O.W.
SCALE: VERT. 1"=3'
HORIZ. 1"=30'



SECTION

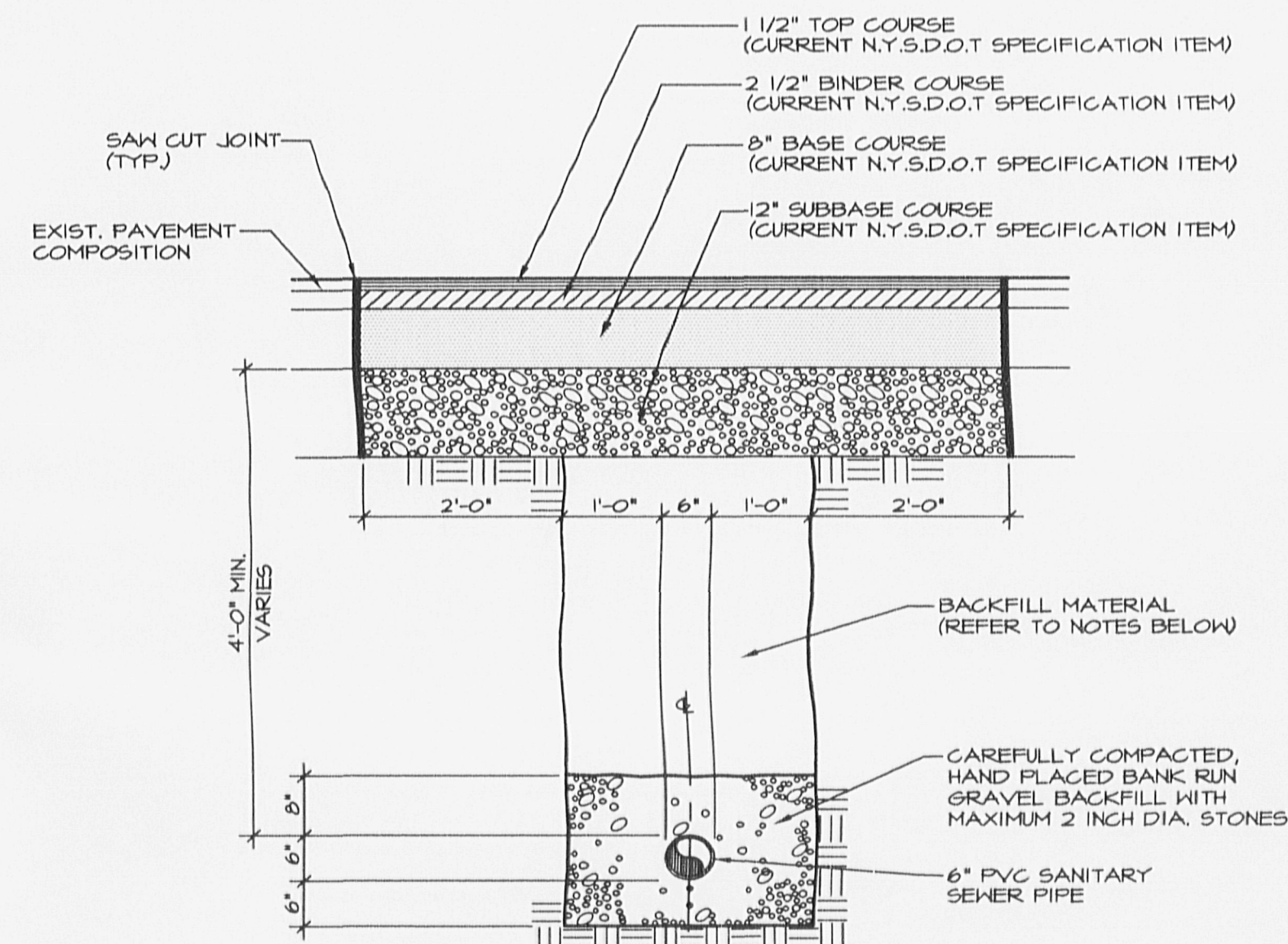
- NOTES:**
1. 12" EARTH BERM TO BE PLACED AROUND SHEETING.
 2. CONTRACTOR IS TO SUBMIT SHEETING & SHORING PLANS FOR APPROVAL BY THE N.Y.S.D.O.T. BEFORE THE START OF CONSTRUCTION.

DIRECT DRILLING PIT
NOT TO SCALE



FRONT VIEW

WET TAP TRENCH DETAIL
NOT TO SCALE

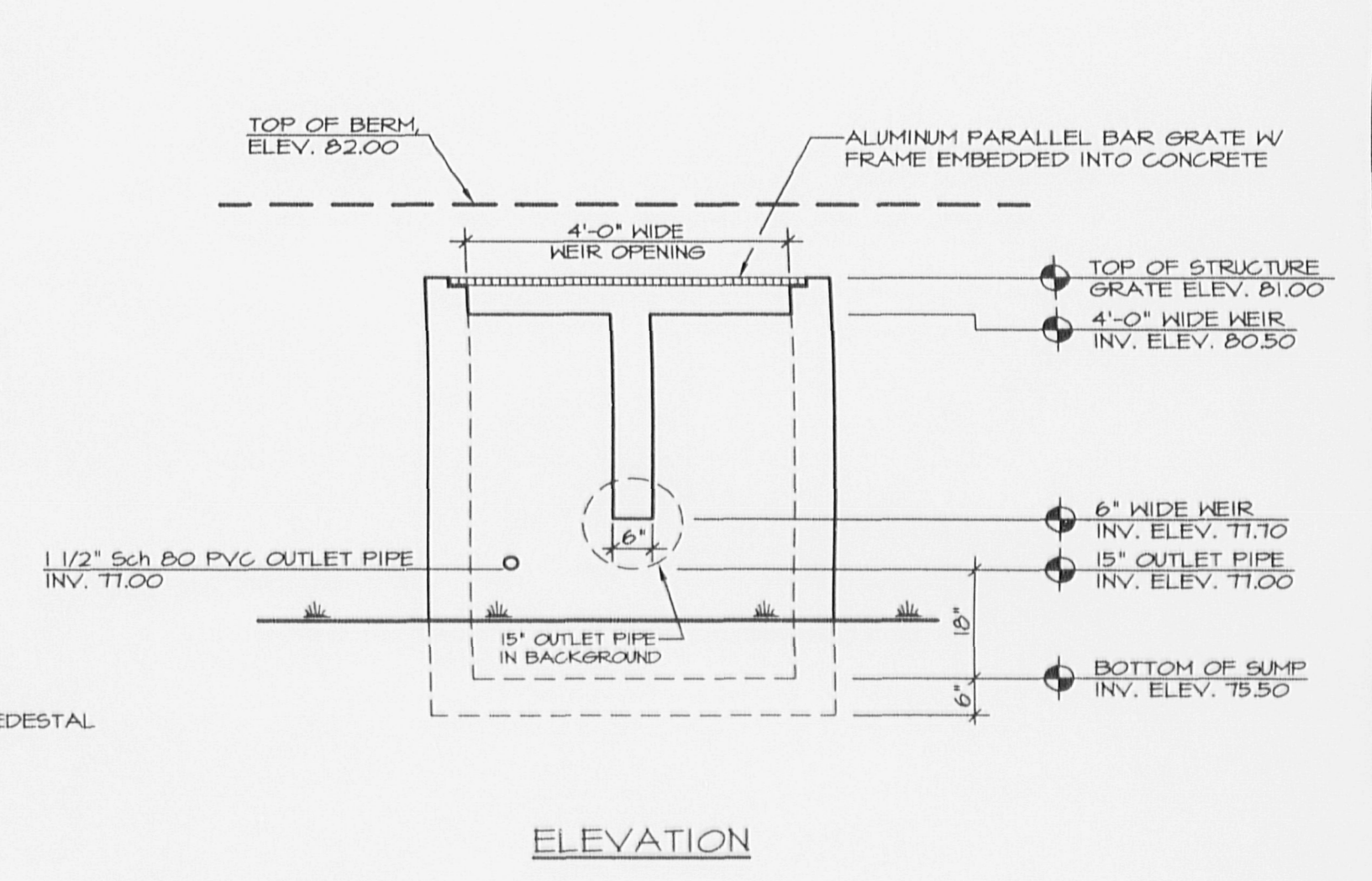
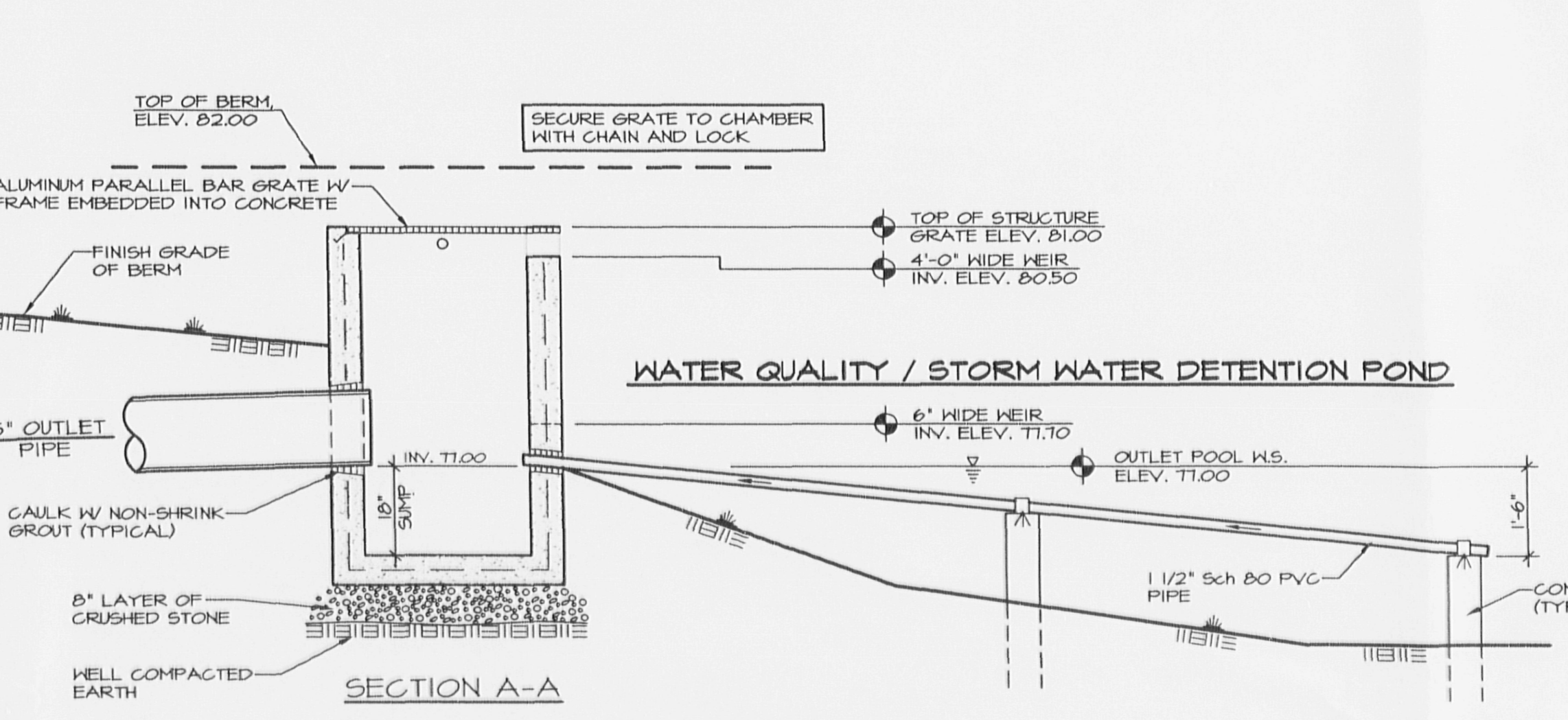
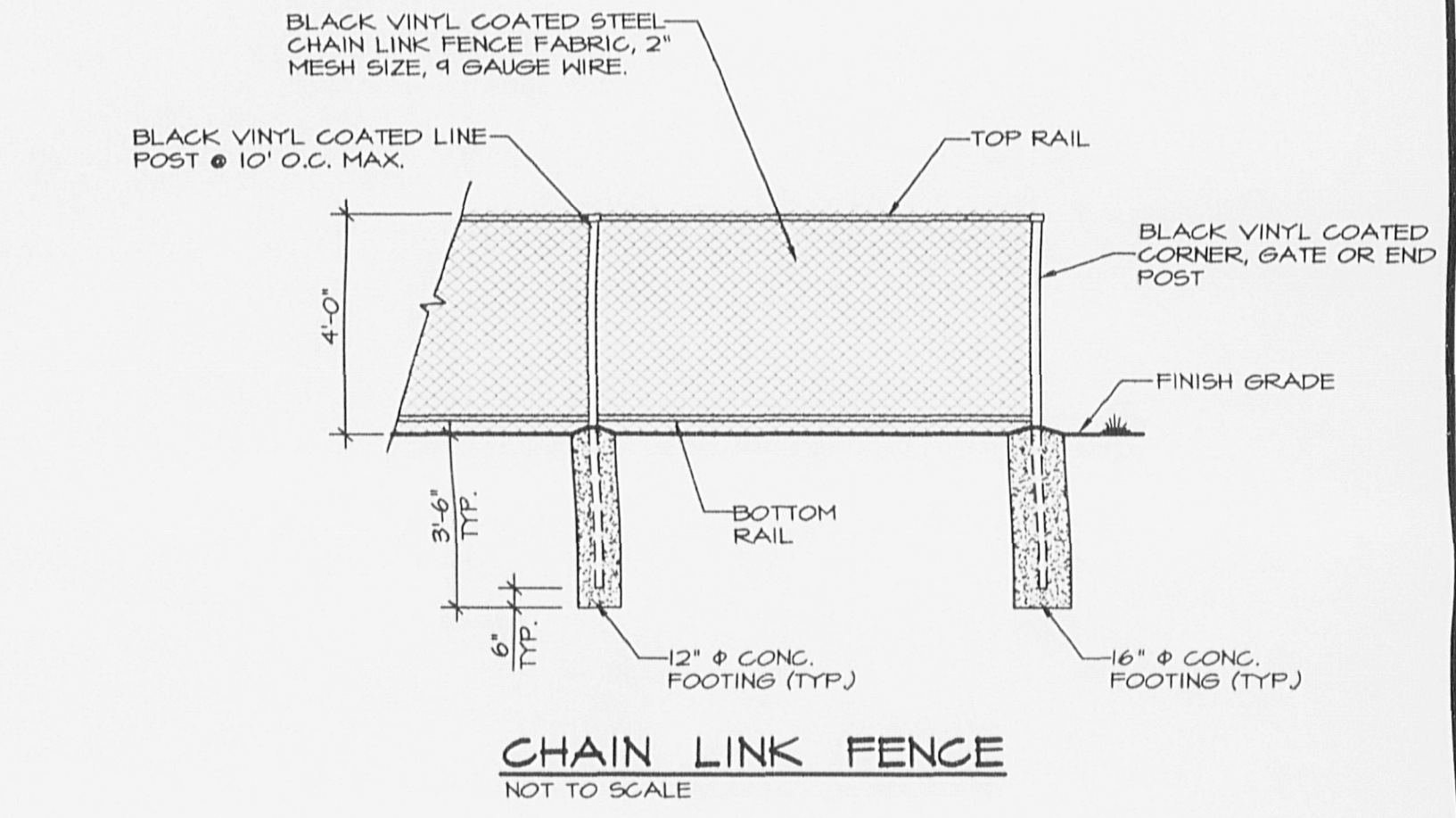
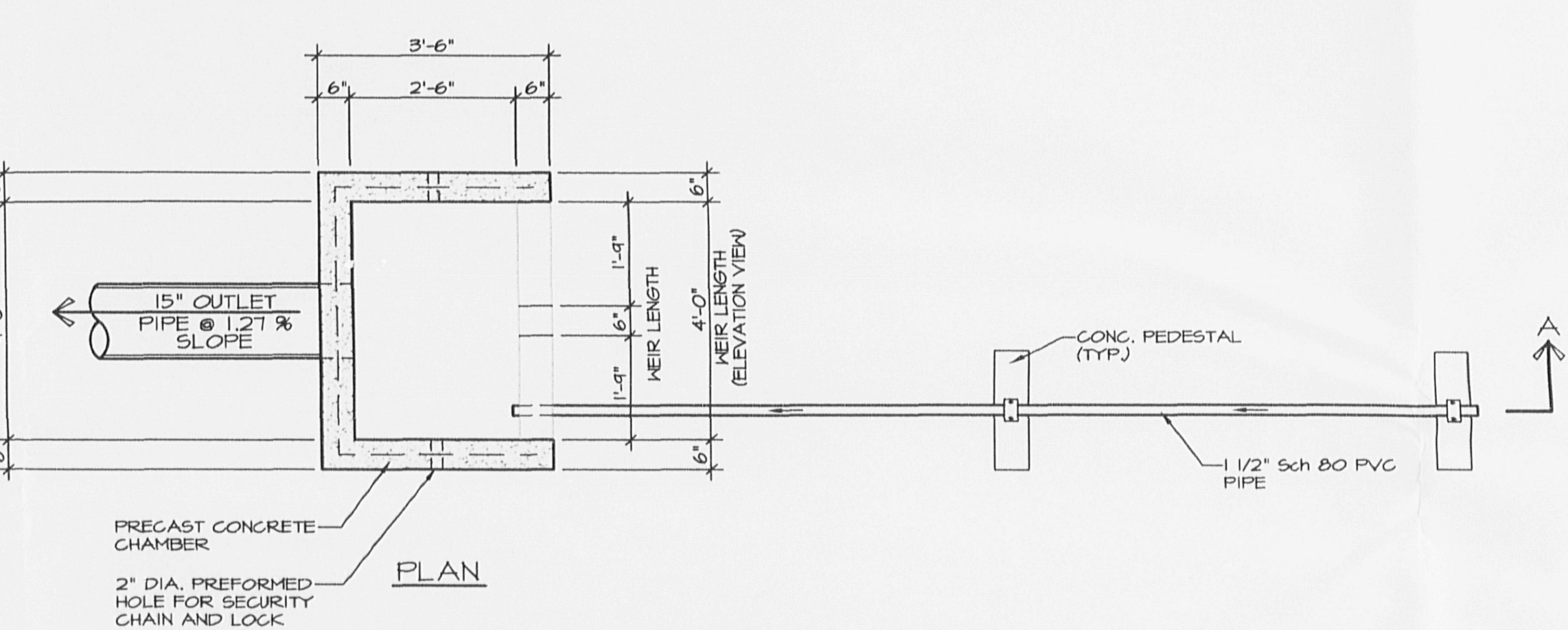
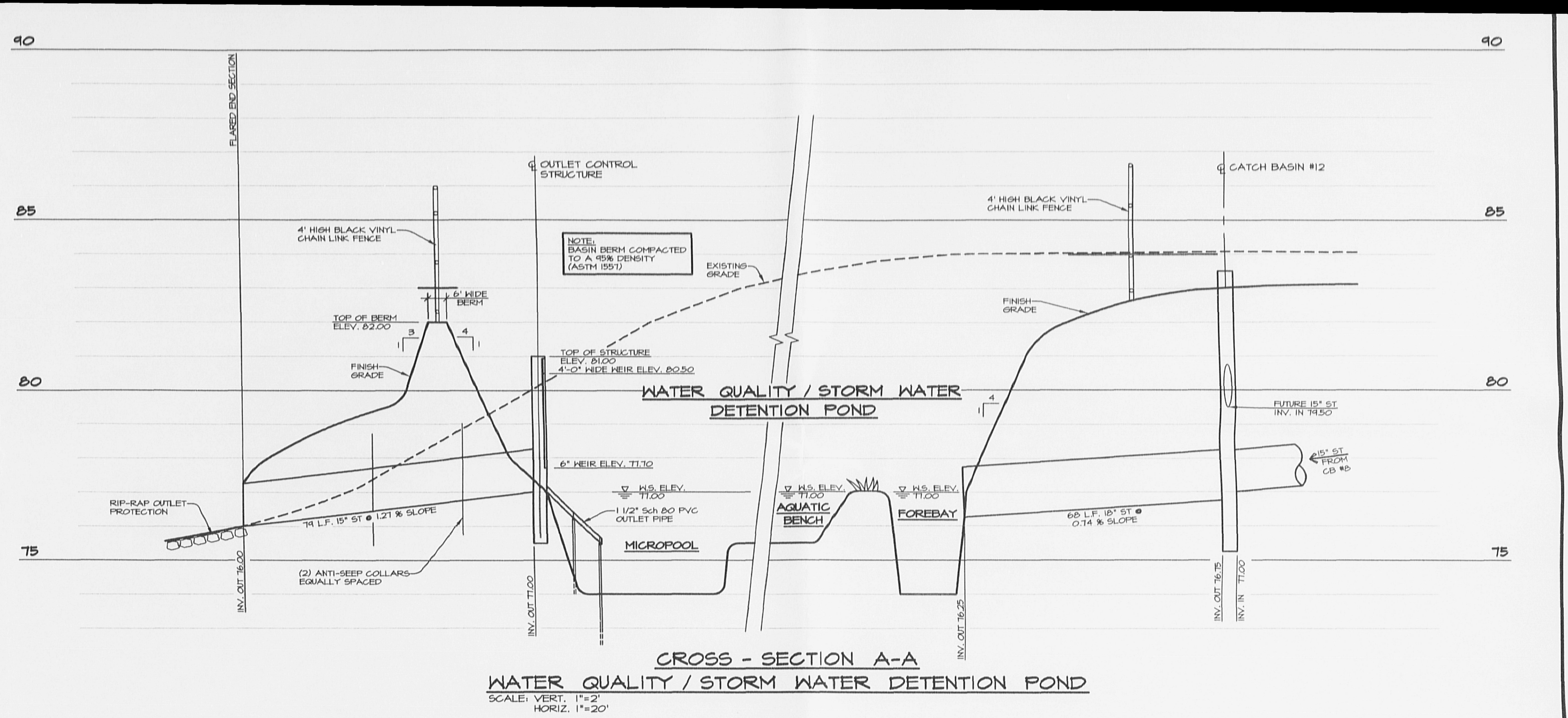
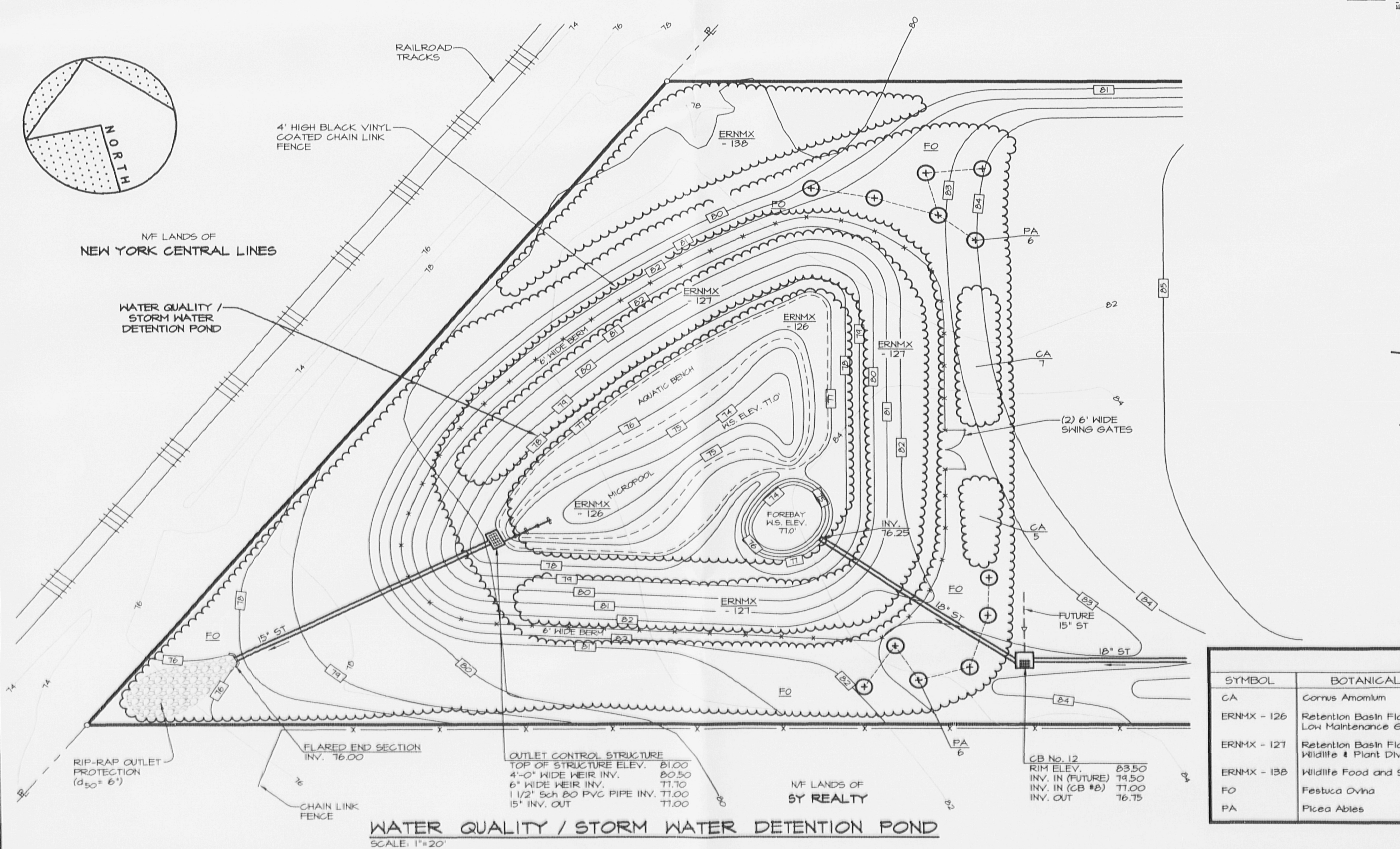
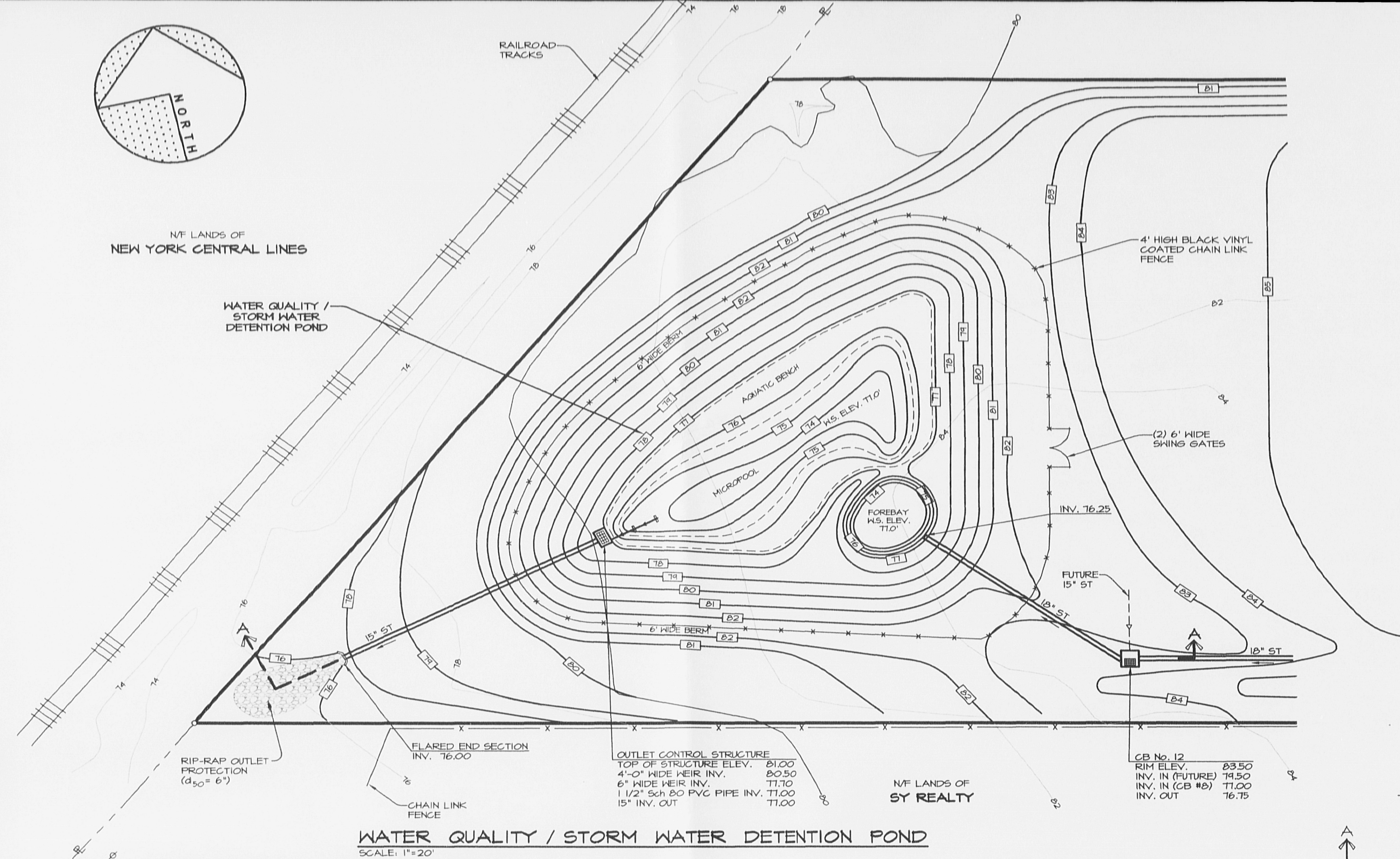


- NOTES:**
- WHENEVER THE TRENCH EXCAVATION IS UNDER MACADAM PAVEMENT AND/OR MACADAM SHOULDER, BACKFILL MATERIAL MUST BE N.Y.S.D.O.T. ITEM 4, COMPACTED IN 12" LIFTS, AFTER NOV. 15th, BACKFILL WITH 5/8" CLEAN CRUSHED AGGREGATE.
- WHENEVER THE TRENCH EXCAVATION IS WITHIN 8 FEET OR LESS OF THE EDGE OF PAVEMENT THE BACKFILL MUST BE N.Y.S.D.O.T. ITEM NO. 08304.02 AND PLACED IN 12" LIFTS AND THOROUGHLY COMPACTED BY MECHANICAL MEANS.
- ALL TRENCH AREAS GREATER THAN 8 FEET FROM THE EDGE OF PAVEMENT MAY BE BACKFILLED WITH SELECT FILL MATERIAL FROM TRENCH EXCAVATION WITH ALL LARGE STONES TO BE REMOVED AND COMPACTED IN 12" LIFTS.
- BACKFILL IN TRENCHES BEYOND SHOULDER AND PAVEMENT AREAS BUT WITHIN THE STATE HIGHWAY RIGHT OF WAY SHALL BE MAINTAINED LEVEL WITH THE SURROUNDING SURFACE AT ALL TIMES WITH AN APPROVED MATERIAL.

SEWER MAIN TRENCH - N.Y.S.D.O.T. R.O.W.
NOT TO SCALE

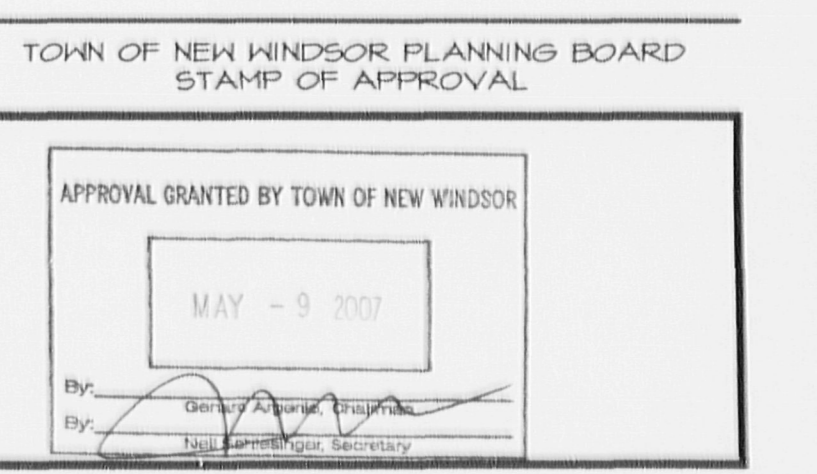
PIPE DATA SHEET

PIPE DATA	
CARRIER PIPE	
CONTENTS TO BE HANDLED	WATER
NORMAL OPERATING PRESSURE	100 p.s.i.
NOMINAL SIZE OF PIPE	6 - INCHES
OUTSIDE DIAMETER	6.90 INCHES
INSIDE DIAMETER	5.296 INCHES
WALL THICKNESS	0.767 INCHES
HEIGHT PER FOOT	6.43 lbs.
MATERIAL	HDPE
PROCESS OF MANUFACTURE	POLYETHYLENE PRESSURE PIPE (HDPE)
SPECIFICATION	AWWA C900-99
GRADE OR CLASS	DR 9
TEST PRESSURE	150 p.s.i.
TYPE OF JOINT	THERMAL BUTT FUSION
TYPE OF COATING	-----
DETAILS OF CATHODIC PROTECTION	-----
DETAILS OF SEALS OR PROTECTION AT ENDS OF CASING	-----
METHOD OF INSTALLATION	DIRECT DRILLING
CHARACTER OF SUBSURFACE MATERIAL AT THE CROSSING LOCATION	-----
APPROXIMATE GROUND WATER LEVEL	-----
SOURCE OF INFORMATION ON SUBSURFACE CONDITIONS (BORINGS, TEST PITS OR OTHERS)	-----



WATER QUALITY / STORM WATER DETENTION POND
OUTLET CONTROL STRUCTURE
NOT TO SCALE

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE
CA	Cornus Amomum	Silky Dogwood	12	3 gal.
ERNMX - 126	Retention Basin Floor Seeding Low Maintenance Grass-like Species		-	20 lb. per acre
ERNMX - 127	Retention Basin Floor Seeding Wildlife & Plant Diversity		-	15 lb. per acre
ERNMX - 138	Wildlife Food and Shelter Shrub Mix		-	15 lb. per acre
FO	Festuca Ovina	Sheep Fescue	-	30 lb. per acre
PA	Picea Abies	Norway Spruce	12	6"-1"



Shaw Engineering
Consulting Engineers
744 Broadway
Newburgh, N.Y. 12550

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.

COPIES FROM THE ORIGINAL OF THIS DOCUMENT WITHOUT A FACSIMILE OF THE SIGNATURE AND AN ORIGINAL OF THE STAMP OR EMBOSSED SEAL OF THE PROFESSIONAL ENGINEER SHALL NOT BE CONSIDERED VALID TRUE COPIES.

COPYRIGHT 2007 SHAW ENGINEERING

ISSUE	REVISION	DATE
3	NO REVISION	3-30-2007
2	NO REVISION	1-26-2007
1	POND REVISIONS	11-3-2006

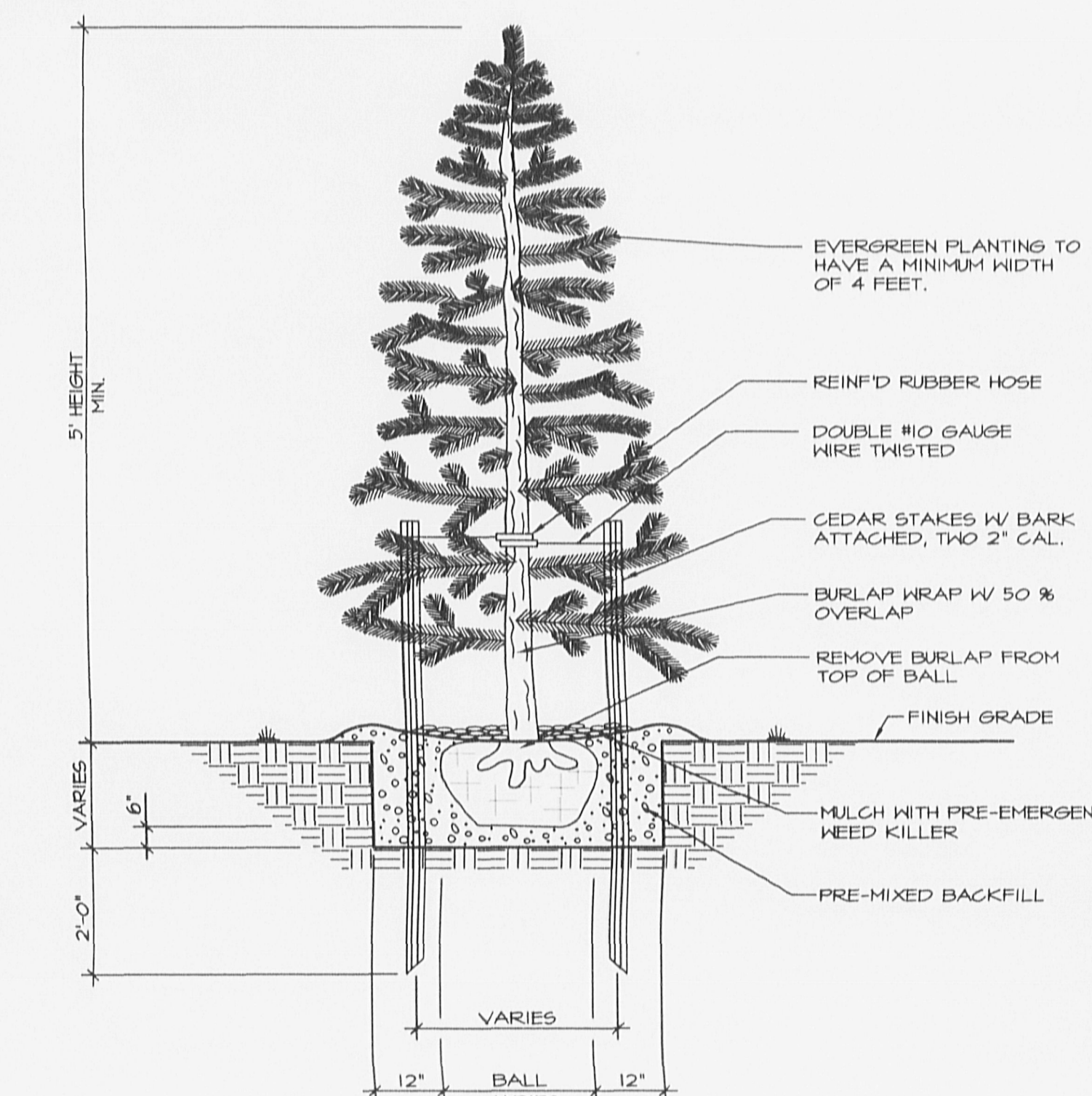
Drawn By: J.R.J.
Checked By: G.J.S.
Scale: AS SHOWN
Date: 11-30-2004

Drawing: WATER QUALITY / STORM WATER DETENTION POND, LANDSCAPE PLAN, CROSS - SECTION A A & DETAILS
Project: NEW RETAIL & OFFICE BUILDING FOR NORTH PLANK DEVELOPMENT COMPANY, L.L.C.
N.Y.S. ROUTE 300 TOWN OF NEW WINDSOR, N.Y.

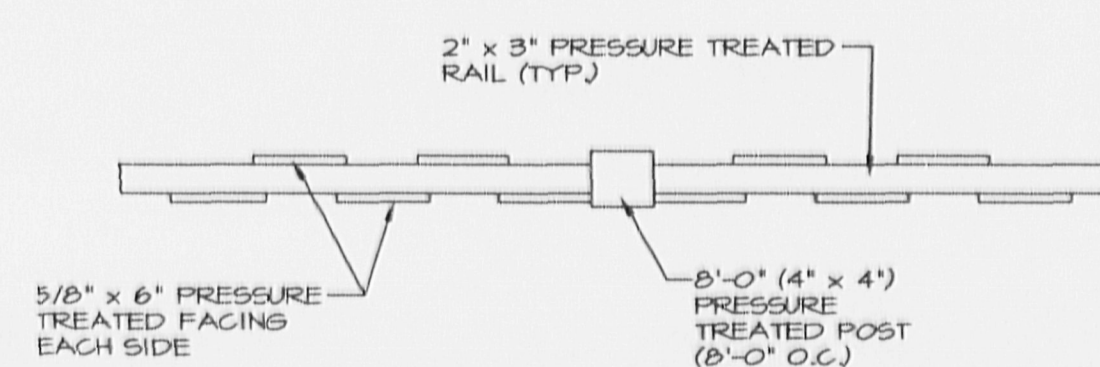
5 OF 9
Project No. 0405

1. TOP SOIL DEPTHS FOR BEDS: 4"; FOR LAWN AND GROUND COVER AREAS: 2" MIN.
2. CONTRACTOR SHALL LOCATE ALL UTILITIES PRIOR TO WORK.
3. PRIOR TO PLANTING, CONTRACTOR SHALL FIELD MODIFY LANDSCAPING SO THAT NO TREE IS WITHIN 10 FEET OF A WATER LINE, SANITARY SEWER LINE, OR A STORM DRAINAGE LINE.
4. CONTRACTOR SHALL FIELD MODIFY LANDSCAPING SO AS TO NOT CONFLICT WITH SITE LIGHTING.
5. ALL PLANTS MUST MEET AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
6. ALL SEEDBED AREAS SHALL BE COVERED WITH STRAW AND WATERED FOR A MINIMUM OF TWO WEEKS.
7. ALL PLANT BEDS SHALL BE SLIGHTLY MOUND'ED.

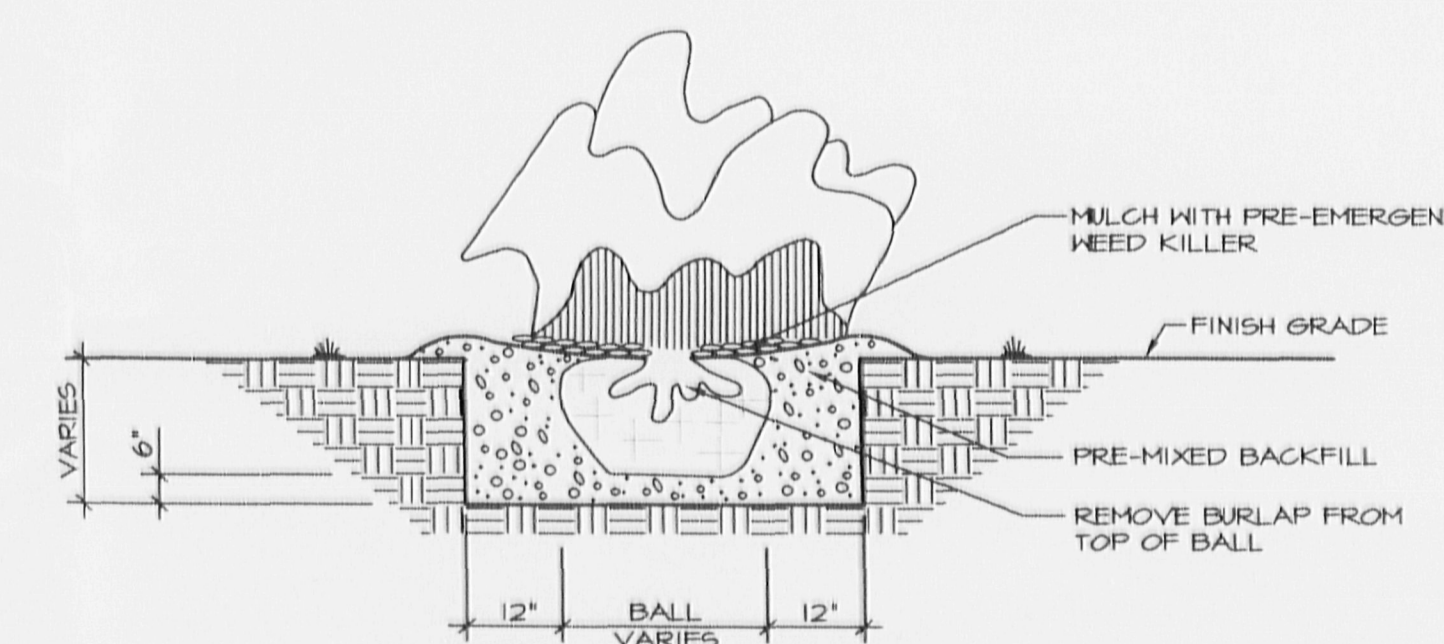
SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE
BNH	Betula Nigra (Clump Form)	Heritage River Birch	1	10"-12"
GCM	Chamaecyparis Filifera Aurea	Gold Map Cypress	13	3 gal.
IG	Ilex Glabra	Inkberry Holly	7	3 gal.
MPF	Malus 'Pratiline'	Pratiline Crabapple	2	2-2 1/2 cal.
MS	Malus Sargentii	Sargents Crabapple	6	2-2 1/2 cal.
PA	Picea Abies	Norway Spruce	3	6'-7'
PYA	Pyrus Calleryana 'Aristocrat'	Aristocrat Pear	3	2-2 1/2 cal.
QP	Quercus Palustris	Pin Oak	1	2-2 1/2 cal.
RG	Rosa Nostrum	Carpet Rose	13	2 gal.
TD	Taxus Media	Dense Yew	7	18"-24"
TO	Thuja Occidentalis	Pyramidalis Arborvitae	5	5'-6'



TREE PLANTING DETAIL
NOT TO SCALE



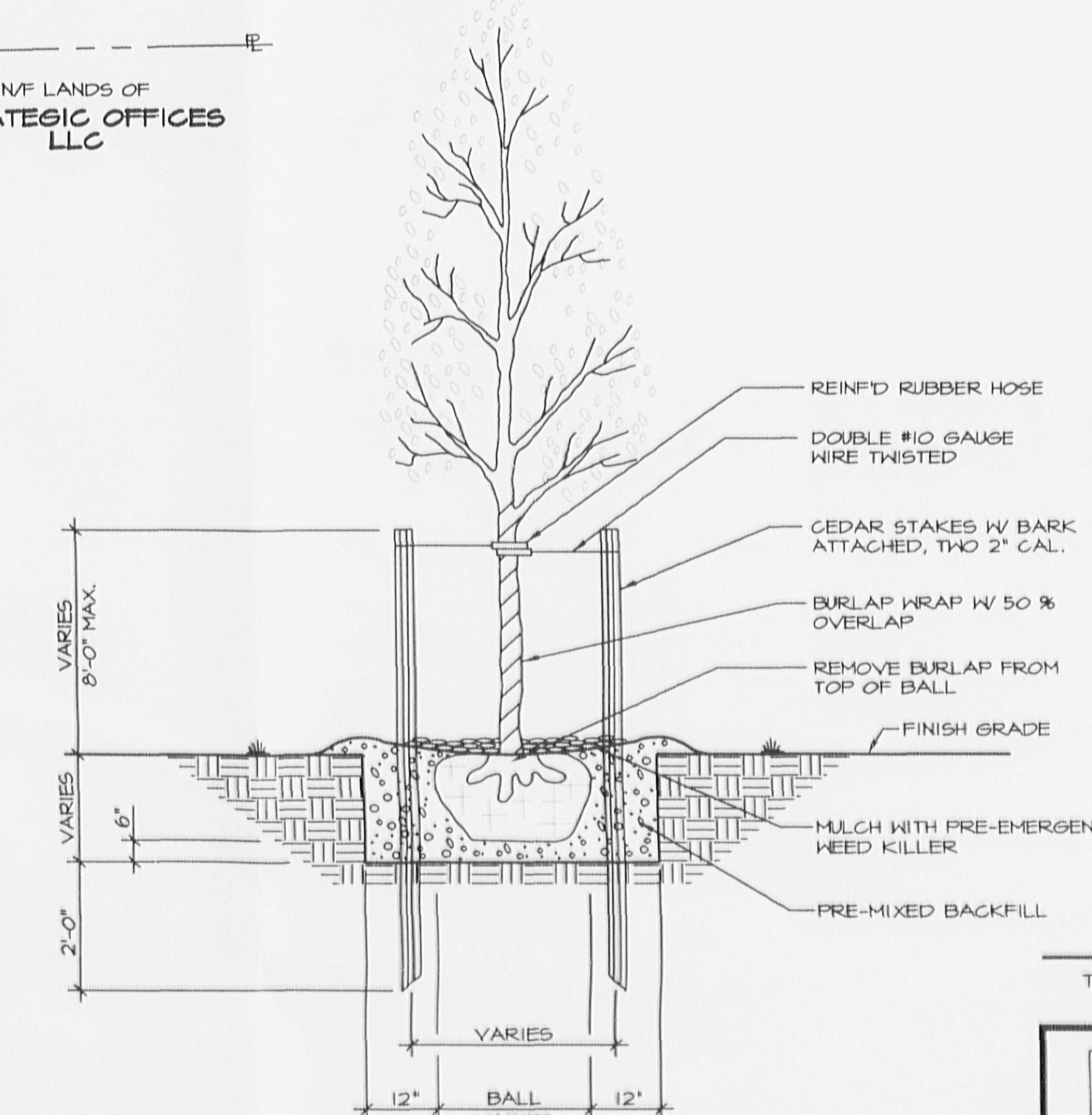
SECTION FROM ABOVE



EVERGREEN & DECIDUOUS SHRUBS

SHRUB PLANTING DETAIL

NOT TO SCALE



TREE PLANTING DETAIL
NOT TO SCALE

TOWN OF NEW WINDSOR PLANNING
STAMP OF APPROVAL

APPROVAL GRANTED BY TOWN OF NEW WINDS

MAY - 9 2007

By _____

DRAWINGS ARE INVALID AND INCOMPLETE UNLESS ACCOMPANIED BY DRAWINGS 1 OF 9 THROUGH 9 OF 9.

Downloaded At: 11:53 11 September 2009

Checked By: G.J.S.

Scale: $1'' = 30'$

Date: 11-30-2004

Drawing:

Project:	NEW RETAIL / OFFICE BUILDING
----------	------------------------------

NORTH PLANK FOR DEVELOPMENT

COMPANY, L.L.C.

6 OF

Project 1

Shaw Engineering
Consulting Engineers

744 Broadway Newburgh N.Y. 12550

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF
SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.

COPIES FROM THE ORIGINAL OF THIS DOCUMENT WITHOUT A FACSIMILE OF THE
SIGNATURE AND AN ORIGINAL OF THE STAMP OR EMBOSSED SEAL OF THE PROFESSIONAL
ENGINEER SHALL NOT BE CONSIDERED VALID TRUE COPIES.

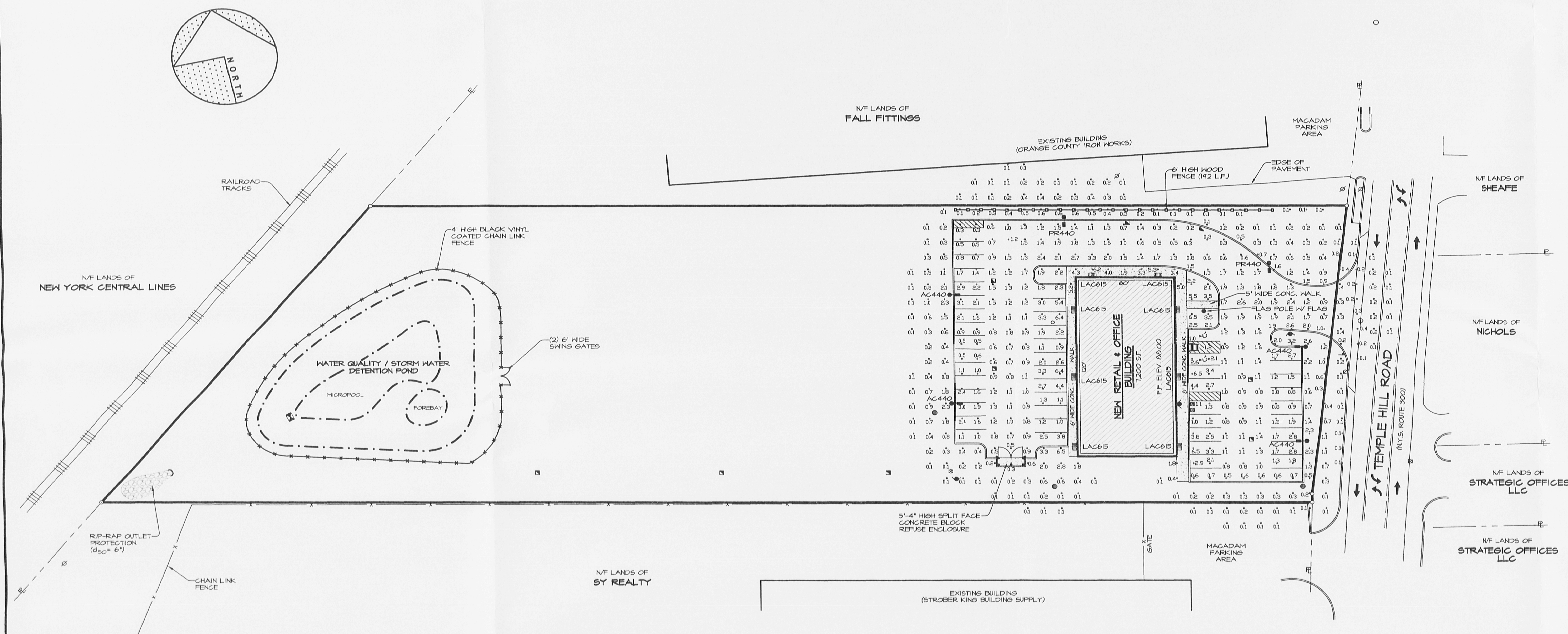
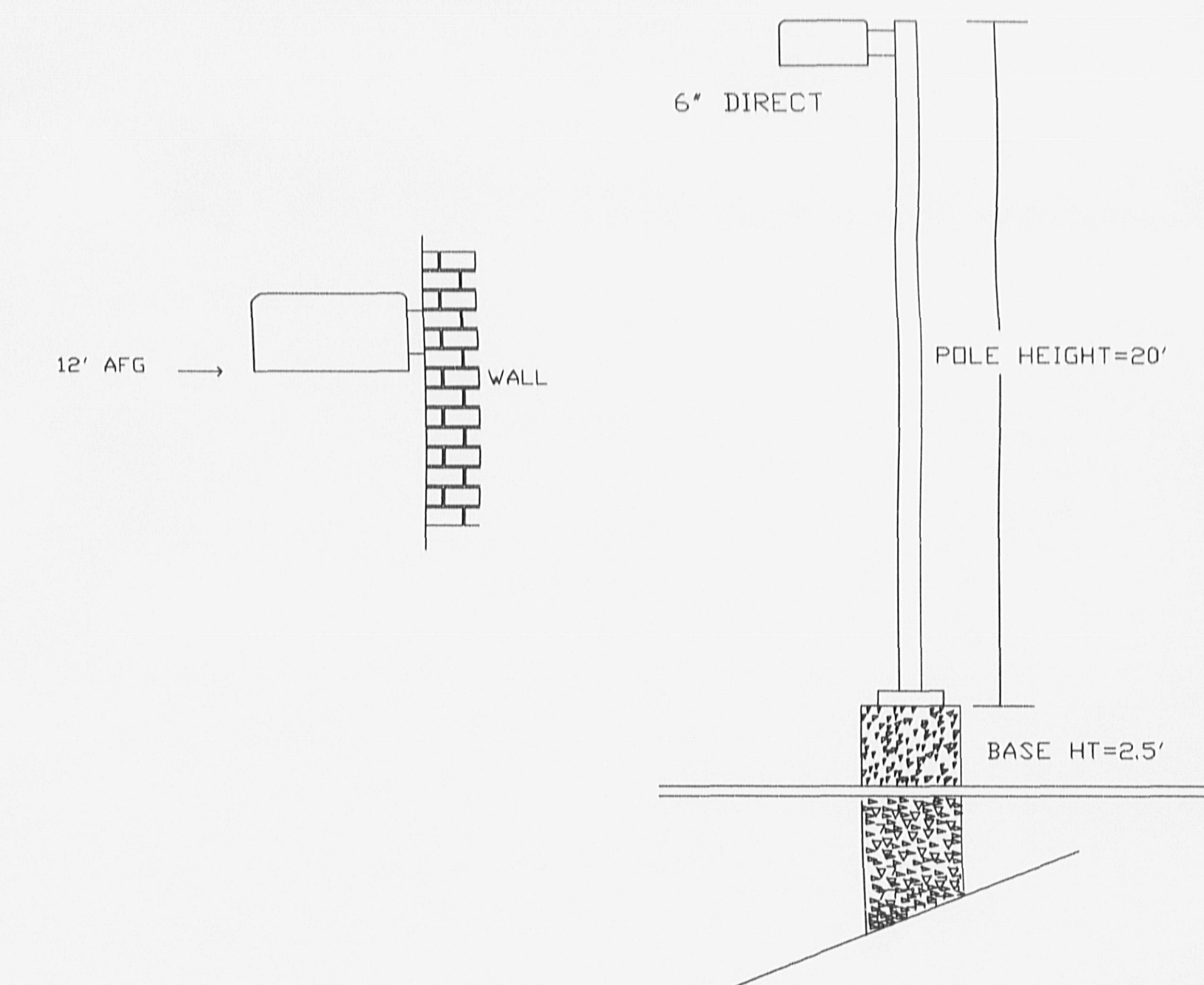
COPYRIGHT 2007 SHAW ENGINEERING

3	ADDED FLAG POLE , WOOD FENCE AND WOOD FENCE DETAIL	3-30-2007
2	INCREASED SIZE OF BLDG.	1-26-2007
1	DELETED BLDG. No. 2	11-3-2006
ISSUE	REVISION	DATE

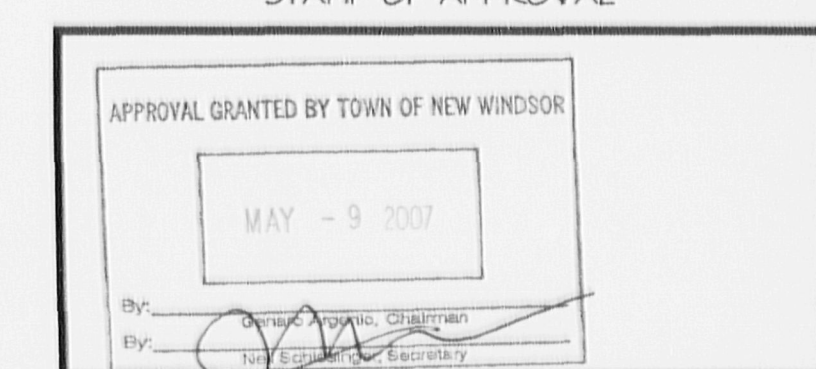
Luminaire Schedule					
Symbol	Qty	Label	Arrangement	Lumens	LLF
●	4	AC440	SINGLE	12600	0.650
●	2	PR440	SINGLE	12600	0.650
■	8	LAC615	SINGLE	8100	0.650

(6) PS4S20C1BZ 20 x 4 x .125 Square steel poles
 *** Poles meet 140 mph wind zone requirements
 *** AC / PR fixtures mounted at 22.5' (20' pole + 2.5' afg base) w/no tilt
 *** LAC fixtures mounted at 12' (on the wall)

FULL CUTOFF



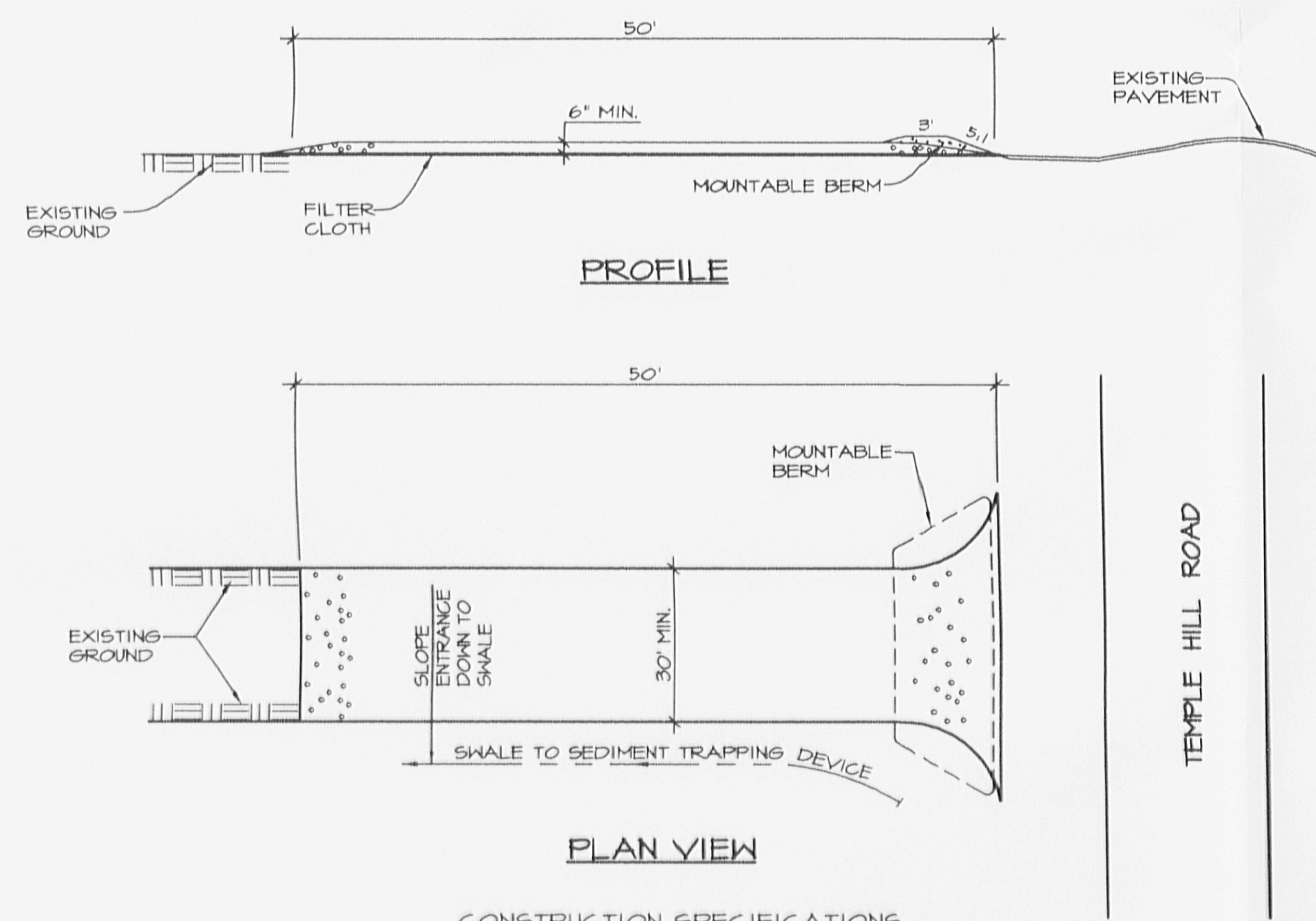
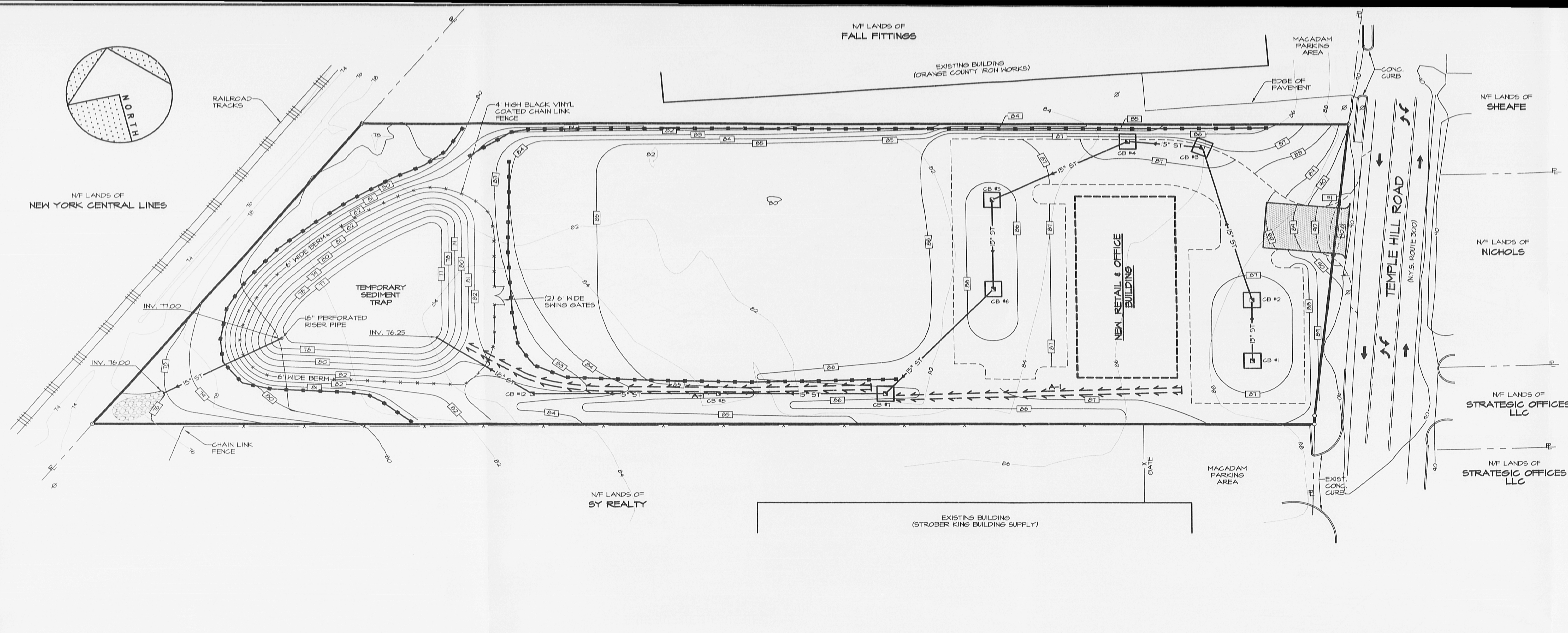
TOWN OF NEW WINDSOR PLANNING BOARD
STAMP OF APPROVAL



DRAWINGS ARE INVALID AND INCOMPLETE UNLESS ACCOMPANIED BY DRAWINGS 1 OF 9 THROUGH 9 OF 9.

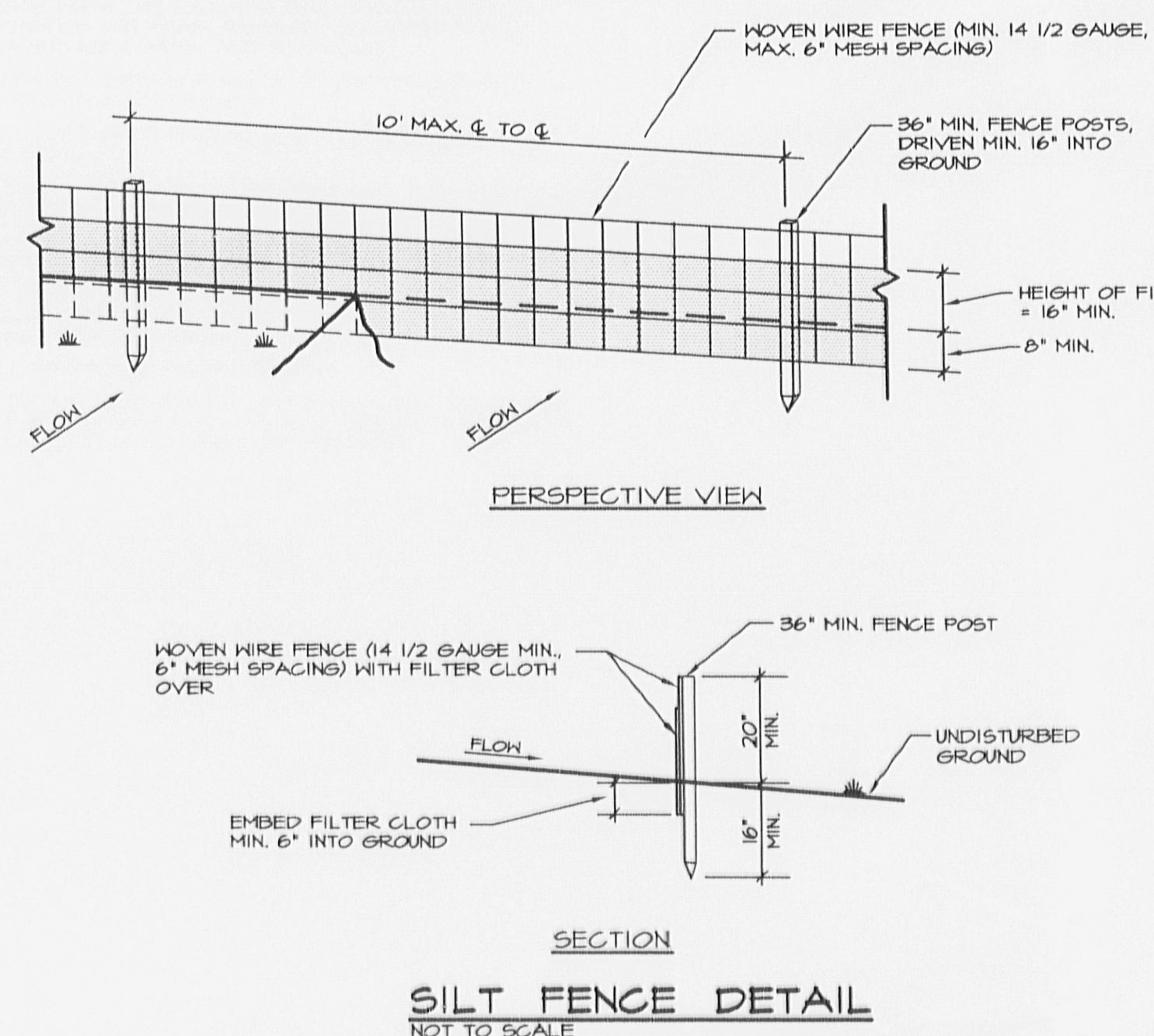
RUUD LIGHTING 800.236.7000 USA <www.ruudlighting.com> 905.671.1991 CAN		UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW. COPIES FROM THE ORIGINAL OF THIS DOCUMENT WITHOUT A FACSIMILE OF THE SIGNATURE AND AN ORIGINAL OF THE STAMP OR EMBOSSED SEAL OF THE PROFESSIONAL ENGINEER SHALL NOT BE CONSIDERED VALID TRUE COPIES. COPYRIGHT 2007 SHAW ENGINEERING		<table border="1"> <tr> <th>ISSUE</th> <th>REVISION</th> <th>DATE</th> </tr> <tr> <td>3</td> <td>ADDED FLAG POLE AND WOOD FENCE</td> <td>9-30-2007</td> </tr> <tr> <td>2</td> <td>INCREASED SIZE OF BLDG.</td> <td>1-26-2007</td> </tr> <tr> <td>1</td> <td>DELETED BLDG. No. 2</td> <td>11-8-2006</td> </tr> </table>		ISSUE	REVISION	DATE	3	ADDED FLAG POLE AND WOOD FENCE	9-30-2007	2	INCREASED SIZE OF BLDG.	1-26-2007	1	DELETED BLDG. No. 2	11-8-2006	Drawn By: J.R.J. Checked By: G.J.S. Scale: 1"=30' Date: 11-30-2004		Drawing: LIGHTING PLAN & DETAILS Project: NEW RETAIL / OFFICE BUILDING FOR NORTH PLANK DEVELOPMENT COMPANY, L.L.C. N.Y.S. ROUTE 300 TOWN OF NEW WINDSOR, N.Y.		7 OF 9 Project No: 0405	
ISSUE	REVISION	DATE																					
3	ADDED FLAG POLE AND WOOD FENCE	9-30-2007																					
2	INCREASED SIZE OF BLDG.	1-26-2007																					
1	DELETED BLDG. No. 2	11-8-2006																					

Illumination results shown on this lighting design are based on project parameters provided to Ruud Lighting used in conjunction with luminaire test procedures conducted under laboratory conditions. Actual project conditions differing from these design parameters may affect field results. The customer is responsible for verifying compliance with any applicable electrical, lighting, or energy code.



- CONSTRUCTION SPECIFICATIONS**
- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - LENGTH - FIFTY (50) FEET
 - THICKNESS - SIX (6) INCHES.
 - WIDTH - FIFTEEN (15) FEET, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 - FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE DIRECTED TO A SWALE DISCHARGING TO A SEDIMENT TRAPPING DEVICE. PROVIDE A MOUNTABLE BERM WITH 5:1 SLOPES.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO ROADWAY MUST BE REMOVED IMMEDIATELY.
 - WHEN VEHICLE WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE DETAIL NOT TO SCALE



- CONSTRUCTION SPECIFICATIONS**
- HOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
 - FILTER CLOTH TO BE FASTENED SECURELY TO HOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

POSTS:
STEEL EITHER 1" OR 1 1/2" TYPE OR 2" HARDWOOD

FENCE:
HOVEN WIRE, 14 1/2 GAUGE 6" MAX SPACING

FILTER CLOTH:
FILTER X, MIRAFI 100X, STABILINKA 1100X OR APPROVED EQUAL

PREFABRICATED UNIT:
GEOFAB ENVIROFENCE, OR APPROVED EQUAL

CONSTRUCTION SEQUENCE

- Review the Erosion And Sediment Control Plan to identify the areas of disturbance and those areas that are scheduled to remain undisturbed. Limit site disturbance at any time to the smallest area possible.
- Prior to commencing construction activities, a licensed surveyor must flag the limits of disturbance necessary to develop the site and clearly delineate the project boundary lines to protect adjacent properties. Identify and protect those trees which can remain.
- In the area designated on the Erosion And Sediment Control Plan, construct a Stabilized Construction Entrance to mitigate the potential of vehicles tracking sediment onto local roads. Restrict traffic to this one access point. Perform periodic inspections and maintenance of the Stabilized Construction Entrance including washing, top-dressing with additional stone, reworking, and compaction. Plan for periodic street cleaning to remove any sediment that may have been tracked off-site. Transport the removed sediment to a suitable disposal area where it can be stabilized.
- Clear and grub the portions of the site that are scheduled for development. Stockpile excavated topsoil, and protect stockpiled material with silt fence.
- Regrade and install the Temporary Sediment Trap, the riser pipe and outlet piping. Install silt fence along the embankments of the Trap.
- Along the southerly boundary place fill and regrade to the elevations indicated. Install catch basins 1, 2, 4, 5, 6, and 7 and the piping between them to the flared end section at the westerly corner of the site.
- Place fill throughout the site from off-site sources beginning in a west to east direction. Install silt fencing at the base of the embankments.
- Upon completion of placing of fill and obtaining sub-grade elevations, install the silt fence at the base of the fill. Install catch basins 1 through 6 and connect their piping to catch basin 7. Modify catch basins 1, 2, 4, 5, 6, and 7 as per the Catch Basin Sediment Trap Detail, and install the Temporary Diversion Swales along the southerly boundary. Within 7 days of completing rough grading, temporarily seed with hay mulch all embankments and disturbed areas. Avoid grading activities during the rainy season (November through March).
- Install the foundation walls of the 6,600 SF building and backfill the foundation as soon as possible.
- Install the water, sanitary sewer, electrical, and telephone utilities. Remove the Diversion Swales and Catch Basin Sediment Traps. Install the concrete curbing, sub-base material, and the binder course of the macadam pavement.
- Finalize grading of the Sediment Trap to the dimensions required for the Water Quality/Storm Water Detention Pond. Remove the perforated riser pipe, and install Outlet Control Structure and Rip-Rap Outlet Protection. Excavate for the Forebay and the Permanent Pool.
- Complete final grading of the site, spread stockpiled topsoil and permanently seed and hay mulch all disturbed surfaces. Apply seed mix and hay mulch to approximately 2 inches in thickness. If necessary, topsoil will be imported to the site for stabilization and landscaping uses. Imported soils will be seeded after two weeks storage to promote vegetative growth and its perimeter protected with silt fence. Do not remove Soil Erosion And Sediment Control measures until 30 days post stabilization.
- Stabilization measures must be initiated as soon as practicable, but in no case more than 14 days after the construction activity has ceased. In frozen ground conditions, stabilization measures must be initiated as soon as practicable.
- Maintain erosion and sediment control practices through regular inspections. After initial groundbreaking, the Owner or its representative shall conduct site inspections at least once every 7 calendar days and within 24 hours of the end of a storm event of 0.5 inches or greater.

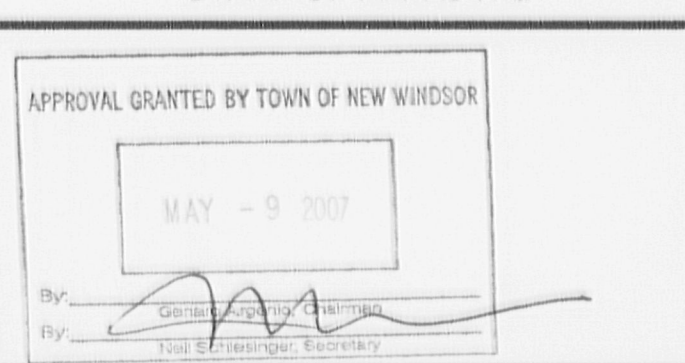
EROSION & SEDIMENT CONTROL MEASURES

- Temporary Diversion Swales**
- Temporary diversion swale will be installed in the location indicated on the drawing for the purpose of diverting stormwater. Swale shall be maintained until the regraded area is stabilized with permanent seeding.
- Silt Fence**
- Silt Fences shall be installed in the locations specified above, around topsoil stockpile areas, and at the base of all disturbed slopes.
- Land Grading**
- Finish land surfaces will be graded as indicated on the plans. Areas to be filled shall be cleared, grubbed, and stripped of topsoil. Remove trees, vegetation, roots or other objectionable material. Fill material shall be free of brush, rubbish, rocks, logs, stumps, building debris, and other objectionable material. Frozen material shall not be placed in the fill nor shall the fill material be placed on a frozen foundation.
 - Unless otherwise noted, temporary seed bare soil within 15 days of exposure unless construction will begin within 30 days. If construction is suspended, or sections completed, areas shall be seeded and mulched immediately.
 - Finish grading shall contain adequate gradients so as to prevent water from standing on the surface of lots for more than 24 hours after the end of a rainfall.
 - Topsoil required for the establishment of vegetation will be stockpiled in amount necessary to complete finished grading of all exposed, non-sodded, areas.
 - Areas which are to be topsoiled shall be scarified to a minimum depth of three inches prior to placement of topsoil.
- Dust Control**
- Construction operations shall be scheduled to minimize the amount of area disturbed at one time. Buffer areas of vegetation shall be left where indicated. The site can be sprinkled with water until the surface is wet. The following spray adhesives can be used on mineral soils:
- | Material | Water Dilution | Type of nozzle | Apply Gallons per acre |
|-----------------|----------------|----------------|------------------------|
| Acrylic Polymer | 4:1 | Coarse Spray | 500 |
| Latex Emulsion | 12.5:1 | Fine Spray | 235 |
| Resin in water | 4:1 | Fine Spray | 300 |
- Temporary And Permanent Seeding**
- Seeding preparation includes removal of debris and obstacles such as rocks and stumps, scarify soil if compacted. Adjust pH to 6.0 with lime, and fertilize with 600 lbs of 5-10-10 or equivalent per acre. All disturbed areas shall be temporarily seed if construction does not resume in 15 days.
 - Apply permanent seeding consisting of:
 - Empire Birdfoot trefoil or common white clover 8 lbs per acre
 - Plus tall fescue 20 lbs per acre
 - Plus Ryegrass 8 lbs per acre
 - Apply temporary seeding consisting of Ryegrass (annual or perennial) at 30 lbs per acre.
 - The optimum time for permanent seeding is in the spring from March 21 through May 20, and in late summer and early fall from August 25 to October 15. Permanent seedings may be made any time of year if properly mulched and adequate moisture is provided. Broadcasting, drilling with cultipack type seeder or hydroseeding are acceptable.
- Topsoil/Mulching**
- Where vegetation will be established, preserve and apply existing topsoil and friable fine textured subsoil that are stripped during excavation. Complete rough grading and final grading, allowing for depth of topsoil to be added. Scarify all compact, slow permeable, medium and fine textured subsoil areas. In soil areas that are steeper than 5 percent, scarify at approximately right angles to the slope. Remove refuse, woody plant parts, stones over 3 inches in diameter, and other litter.
 - Topsoil shall have a minimum of 2 percent, and a maximum of 6 percent by weight of fine textured stable organic material. Topsoil shall have not less than 20 percent fine textured material (passing the No. 200 sieve) and not more than 15 percent clay. Topsoil shall be relatively free of stones over 1 1/2 inches in diameter.
 - Topsoil shall be placed at a uniform depth of 2 inches for the steep slopes, and 4 inches for the low areas. Topsoil shall not be placed when it is partly frozen, muddy, nor on frozen slopes or over ice, snow, or standing water. Topsoil placed and graded on slopes steeper than 5 percent shall be promptly fertilized, seeded, mulched and stabilized by "tracking" with suitable equipment.
 - If soil is compacted or crusted, surface should be loosened to at least two inches by disk or other suitable methods. Straw mulch (small grain) is preferred applied at an application rate of 2 tons per acre, and anchored with wood fiber mulch (hydromulch) at 500-750 lbs. per acre. The wood fiber mulch must be applied through a hydroseeder immediately after mulching.

LEGEND

EXISTING	NEW
B2	2' CONTOUR
BO	10' CONTOUR
	SILT FENCE
	TEMPORARY DIVERSION SWALE
	CATCH BASIN SEDIMENT TRAP
	STABILIZED CONSTRUCTION ENTRANCE
	FINISHED GRADE
	CATCH BASIN
	STORM SEWER

TOWN OF NEW WINDSOR PLANNING BOARD
STAMP OF APPROVAL



DRAWINGS ARE INVALID AND INCOMPLETE UNLESS ACCOMPANIED BY DRAWINGS 1 OF 9 THROUGH 9 OF 9.

Shaw Engineering
Consulting Engineers

744 Broadway Newburgh, N.Y. 12550

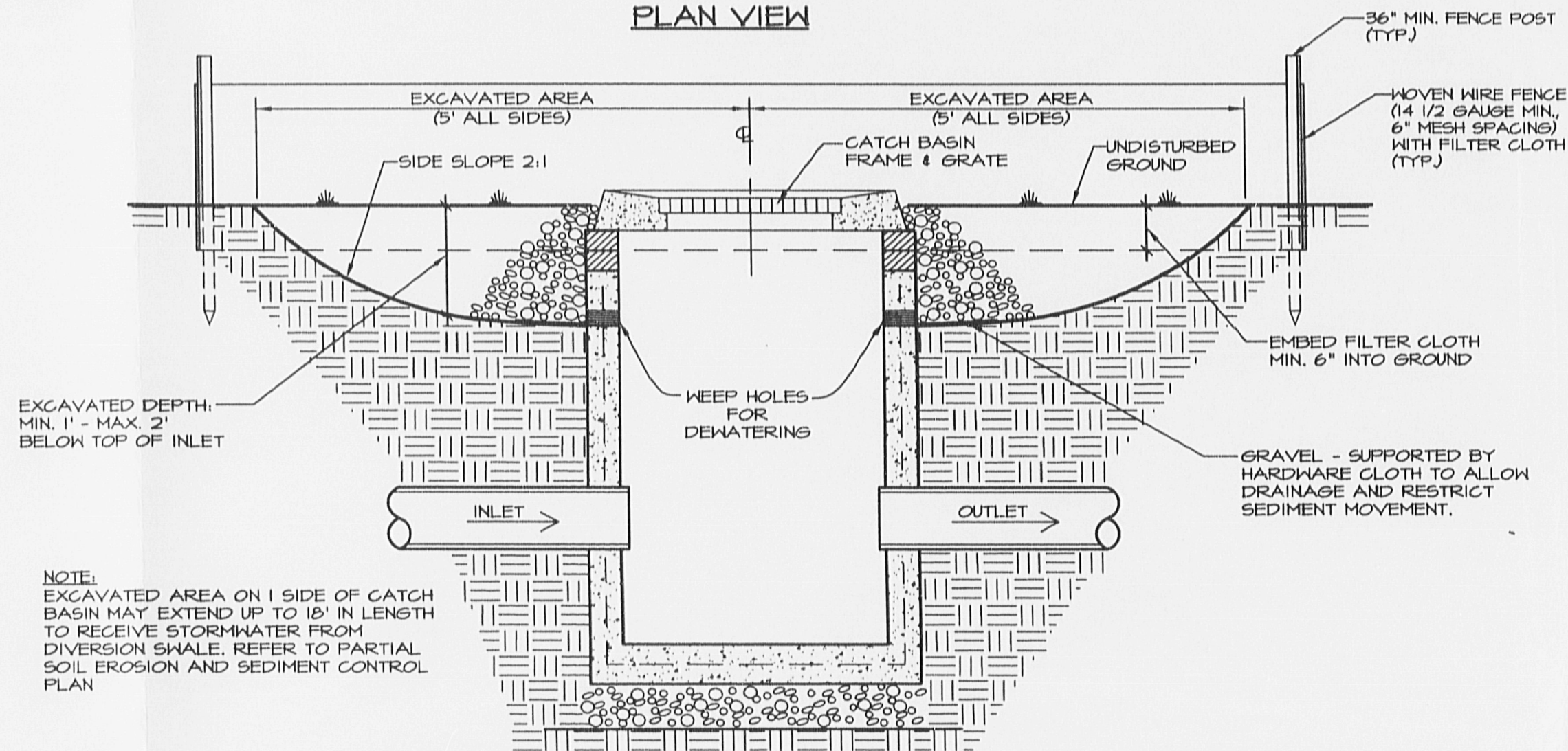
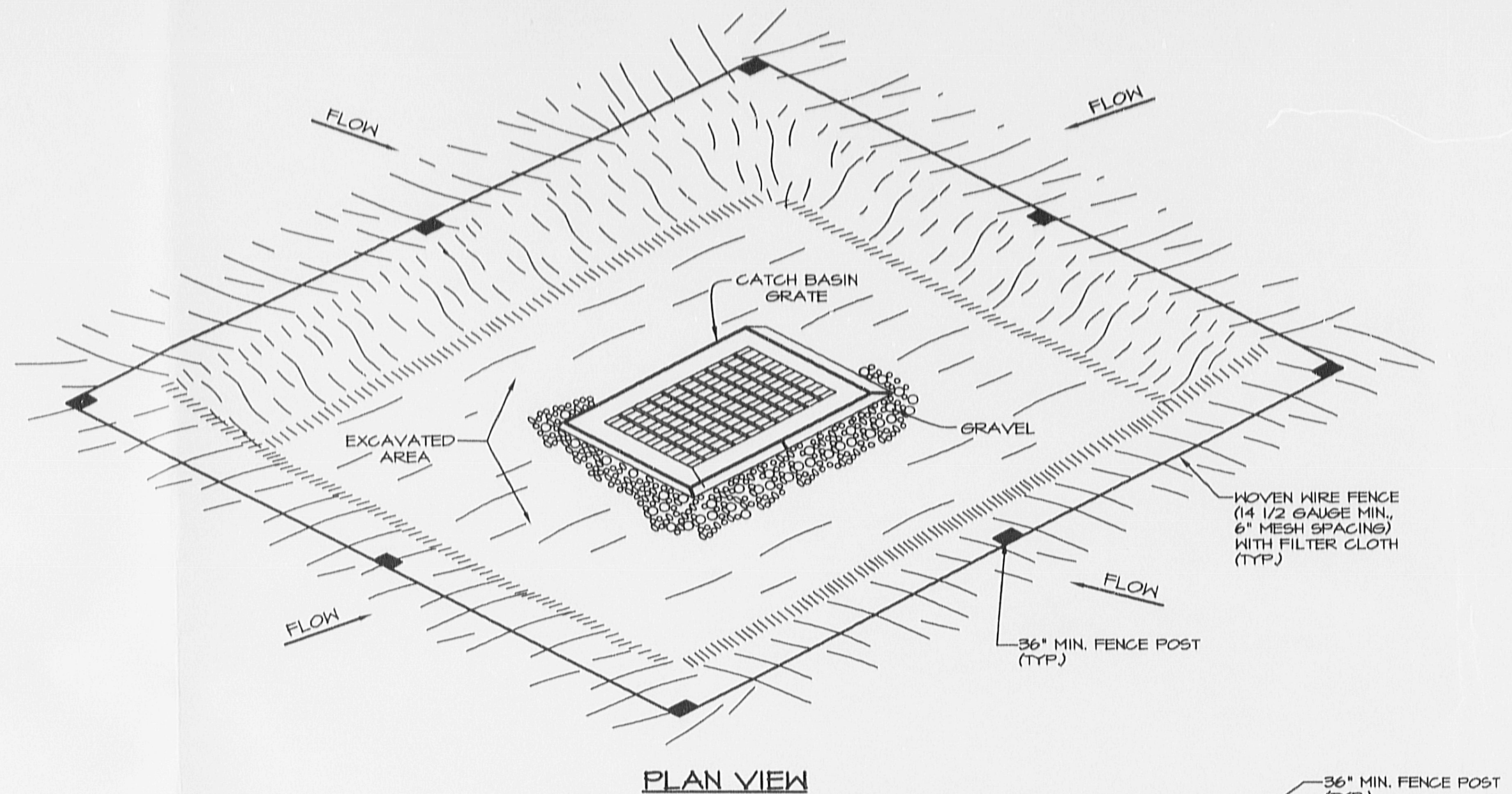
UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.

COPIES OF THE ORIGINAL OF THIS DOCUMENT WITHOUT A FACSIMILE OF THE SIGNATURE AND AN ORIGINAL OF THE STAMP OR EMBOSSED SEAL OF THE PROFESSIONAL ENGINEER SHALL NOT BE CONSIDERED VALID TRUE COPIES.

COPYRIGHT 2007 SHAW ENGINEERING

ISSUE	REVISION	DATE
3	NO REVISION	3-30-2007
2	INCREASED SIZE OF BLDGS.	1-26-2007
1	DELETED BLDG. No. 2	11-3-2006

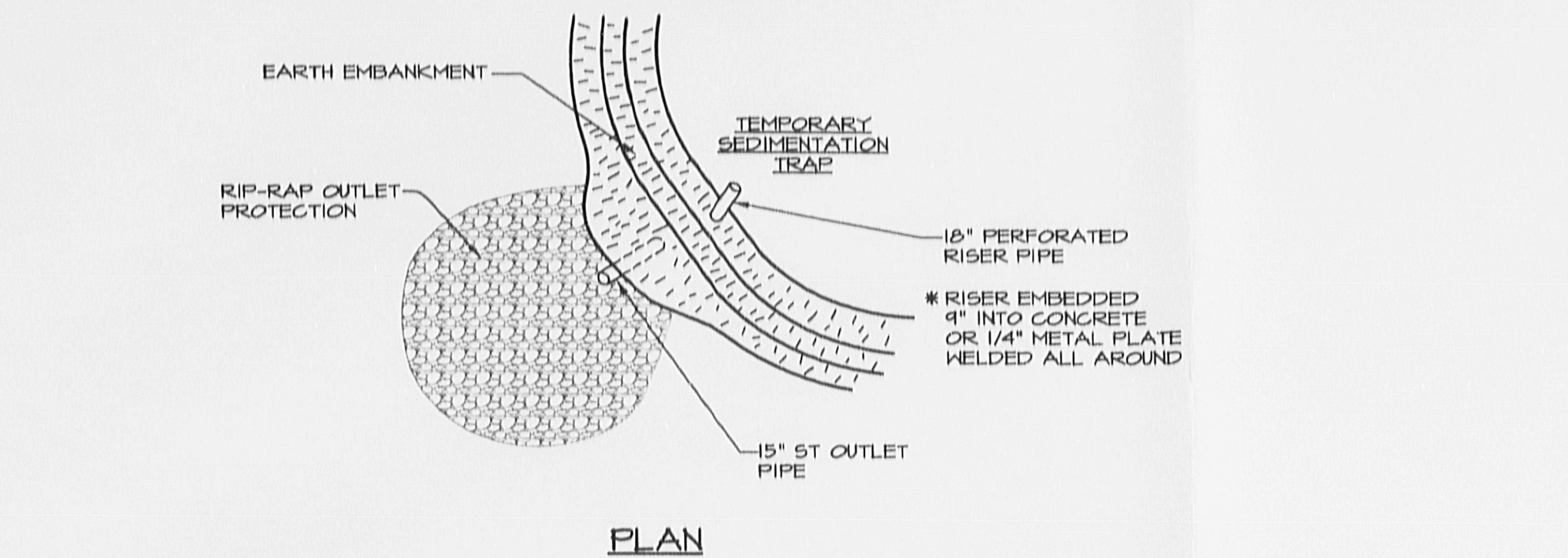
Drawn By: J.R.J.	Checked By: G.J.S.	Scale: 1"=30'	Date: 11-30-2004
Project: NEW RETAIL / OFFICE BUILDINGS FOR NORTH FLANK DEVELOPMENT COMPANY, L.L.C. N.Y.S. ROUTE 300 TOWN OF NEW WINDSOR, N.Y.			
Project No. 0405			



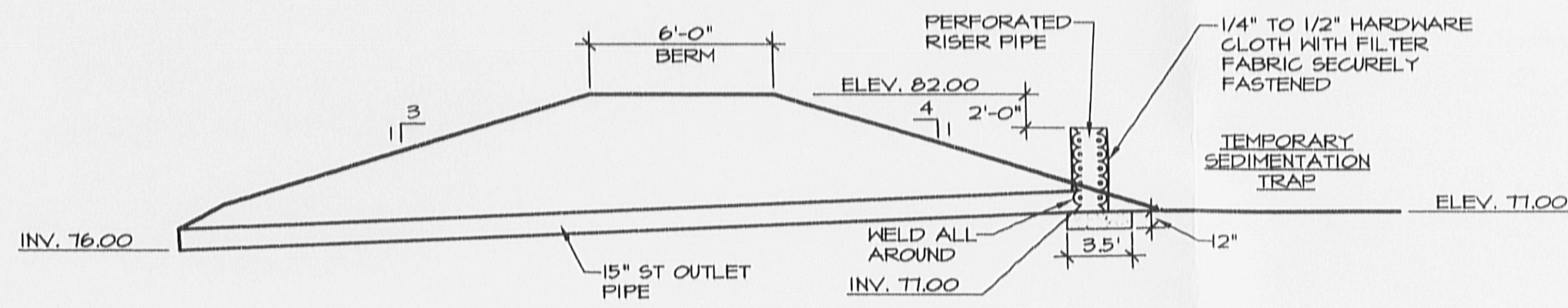
CATCH BASIN SEDIMENT TRAP
NOT TO SCALE

CONSTRUCTION SPECIFICATIONS

1. SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND STABILIZED.
2. THE VOLUME OF SEDIMENT STORAGE SHALL BE 3600 CUBIC FEET PER ACRE OF CONTRIBUTORY DRAINAGE.
3. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
4. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND SEDIMENT ARE CONTROLLED.
5. THE SEDIMENT TRAP SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE CONSTRUCTED DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
6. ALL CUT SLOPES SHALL BE 1:1 OR FLATTER. MAXIMUM DRAINAGE AREA: 3 ACRES.
7. KEEP HOLES SHALL BE PROTECTED BY GRAVEL.
8. UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA, SEAL KEEP HOLES, FILL BASIN WITH STABLE SOIL TO FINAL GRADE, COMPACT IT PROPERLY AND STABILIZE WITH PERMANENT SEEDING.



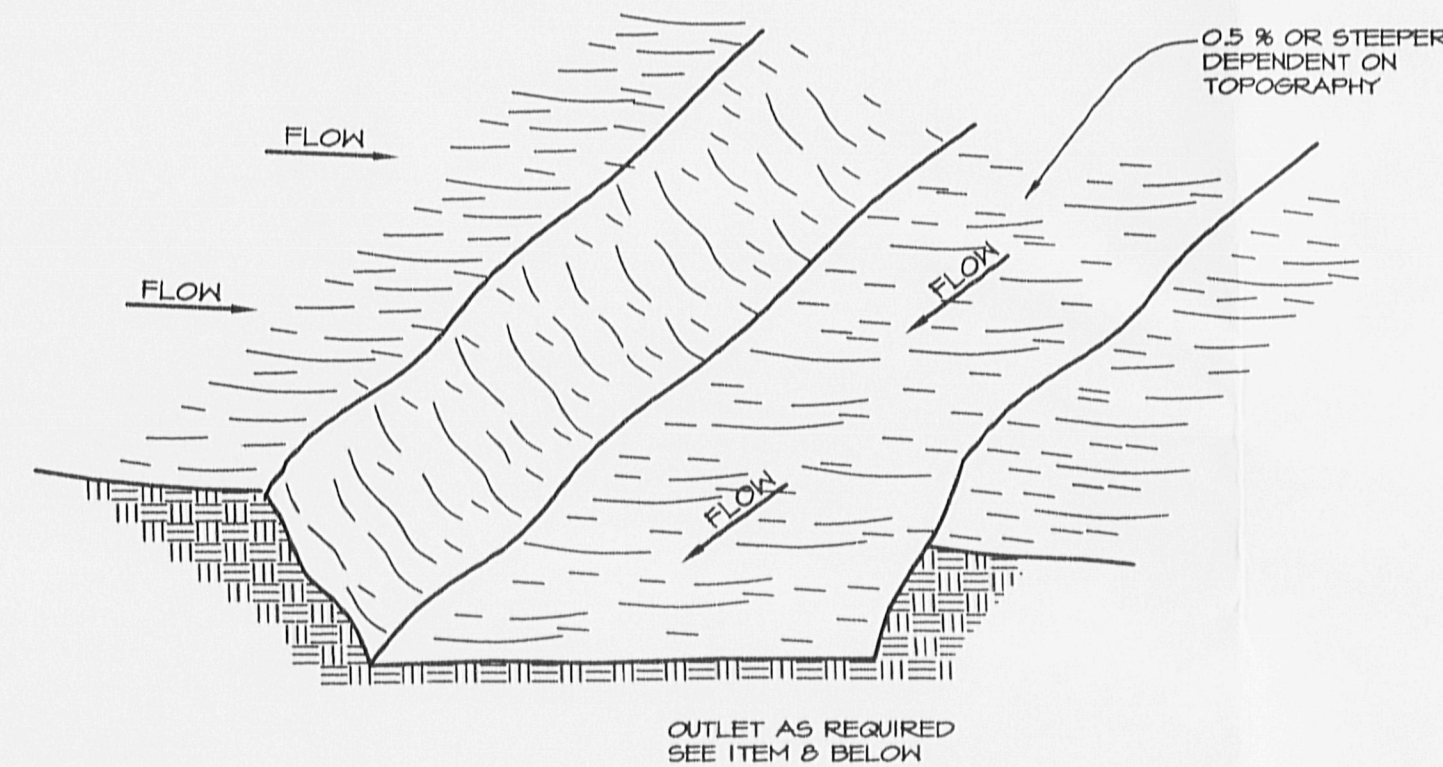
PLAN



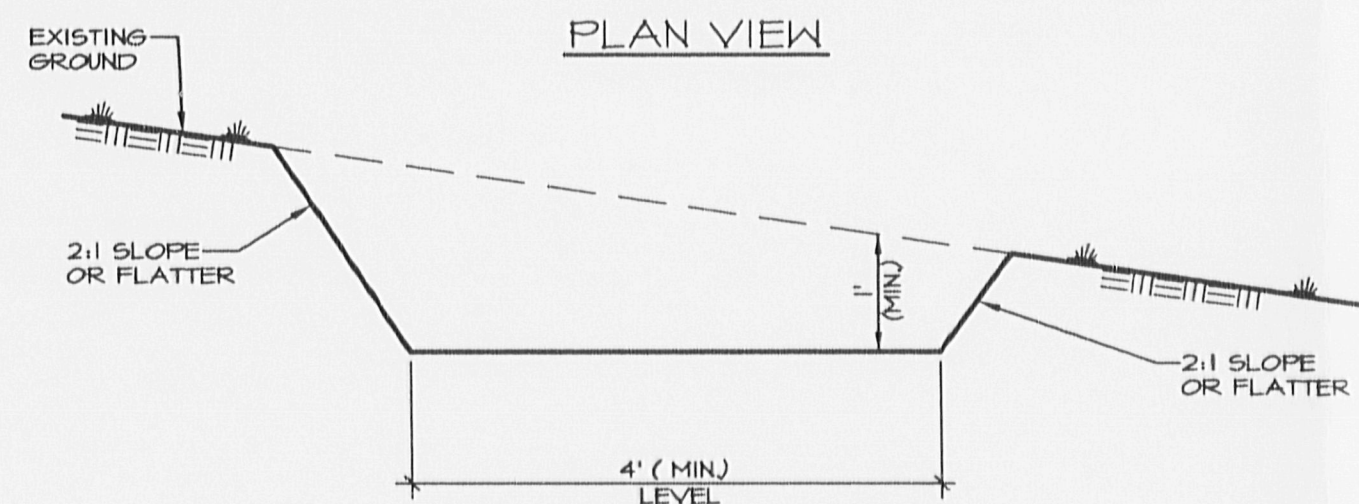
EMBANKMENT SECTION THRU RISER

SIZE OF PIPE NEEDED:
BARREL DIAMETER: 15"
RISER DIAMETER: 10"

TEMPORARY SEDIMENTATION TRAP OUTLET
NOT TO SCALE



PLAN VIEW



SECTION

TEMPORARY SWALE DETAIL
NOT TO SCALE

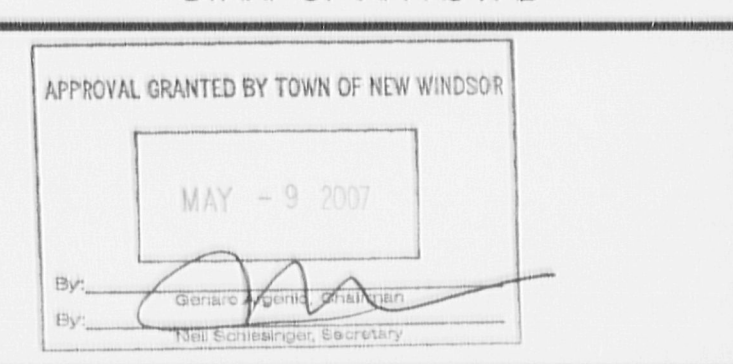
CONSTRUCTION SPECIFICATIONS

1. ALL TEMPORARY SWALES SHALL HAVE UNINTERRUPTED POSITIVE GRADE TO AN OUTLET.
 2. DIVERTED RUNOFF FROM DISTURBED AREAS SHALL BE CONVEYED TO A STORM INLET SEDIMENT TRAP.
 3. DIVERTED RUNOFF FROM AN UNDISTURBED AREA SHALL OUTLET DIRECTLY INTO AN UNDISTURBED STABILIZED AREA AT NON-EROSIVE VELOCITY.
 4. ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS, AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE SWALE.
 5. THE SWALE SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE, AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN AND BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARITIES WHICH WILL IMPEDE NORMAL FLOW.
 6. FILLS SHALL BE COMPACTED BY EARTH MOVING EQUIPMENT.
 7. ALL EARTH REMOVED AND NOT NEEDED ON CONSTRUCTION SHALL BE PLACED SO THAT IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE SWALE.
 8. STABILIZATION SHALL BE AS PER THE CHART BELOW:
- | TYPE OF TREATMENT | CHANNEL GRADE | SWALE A (0 AC OR LESS) |
|-------------------|---------------|------------------------------------|
| A-1 | 0.5-3.0 % | SEED AND STRAW MULCH |
| A-2 | 3.1-5.0 % | SEED AND STRAW MULCH |
| A-3 | 5.1-8.0 % | SEED USING JUTE OR EXCELISIOR, SOD |
4. PERIODIC INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.

CONSTRUCTION SPECIFICATIONS

1. AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED AND STRIPPED OF ANY VEGETATION AND ROOT MAT. THE POOL AREA SHALL BE CLEARED.
2. THE FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS OR OTHER WOODY VEGETATION AS WELL AS OVER-SIZED STONES, ROCKS, ORGANIC MATERIAL, OR OTHER OBJECTIONABLE MATERIAL. THE EMBANKMENT SHALL BE COMPACTED TO 95% DENSITY (ASTM D1557).
3. VOLUME OF SEDIMENT STORAGE SHALL BE 3600 CUBIC FEET PER ACRE OF CONTRIBUTORY DRAINAGE.
4. SEDIMENT SHALL BE REMOVED AND BASIN RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE BASIN. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND STABILIZED.
5. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
6. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND SEDIMENT ARE CONTROLLED.
7. THE STRUCTURE SHALL BE REMOVED AND AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
8. ALL PIPE CONNECTIONS SHALL BE WATERTIGHT.
9. THE TOP 2/3 OF THE RISER SHALL BE PERFORATED WITH ONE (1) INCH DIAMETER HOLES OR SLITS SPACED SIX (6) INCHES VERTICALLY AND HORIZONTALLY AND PLACED IN THE CONCAVE PORTION OF PIPE. NO HOLES WILL BE ALLOWED WITHIN SIX (6) INCHES OF THE HORIZONTAL BARREL.
10. THE RISER SHALL BE WRAPPED WITH 1/4 TO 1/2 INCH HARDWARE CLOTH WIRE THEN WRAPPED WITH FILTER CLOTH HAVING AN EQUIVALENT SIEVE SIZE OF 40-60. THE FILTER CLOTH SHALL EXTEND SIX (6) INCHES ABOVE THE HIGHEST HOLE AND SIX (6) INCHES BELOW THE LOWEST HOLE. WHERE ENDS OF THE FILTER CLOTH COME TOGETHER, THEY SHALL BE OVER-LAPPED, FOLDED AND STAPLED TO PREVENT BYPASS.
11. STRAPS OR CONNECTING BANDS SHALL BE USED TO HOLD THE FILTER CLOTH AND WIRE FABRIC IN PLACE. THEY SHALL BE PLACED AT THE TOP AND BOTTOM OF THE CLOTH.
12. THE RISER SHALL BE ANCHORED WITH EITHER A CONCRETE BASE OR STEEL PLATE BASE TO PREVENT FLOTATION. FOR CONCRETE BASE THE DEPTH SHALL BE TWELVE (12) INCHES WITH THE RISER EMBEDDED NINE (9) INCHES. A 1/4 INCH MINIMUM THICKNESS STEEL PLATE SHALL BE ATTACHED TO THE RISER BY A CONTINUOUS WELD AROUND THE BOTTOM TO FORM A WATERTIGHT CONNECTION AND THEN PLACE TWO (2) FEET OF STONE, GRAVEL, OR TAMPED EARTH ON THE PLATE.

TOWN OF NEW HINDSOR PLANNING BOARD
STAMP OF APPROVAL



DRAWINGS ARE INVALID AND INCOMPLETE UNLESS ACCOMPANIED BY DRAWINGS 1 OF 4 THROUGH 4 OF 4.

Shaw Engineering
Consulting Engineers
744 Broadway Newburgh N.Y. 12550

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.

COPIES FROM THE ORIGINAL OF THIS DOCUMENT WITHOUT A FACSIMILE OF THE SIGNATURE AND AN ORIGINAL OF THE STAMP OR EMBOSSED SEAL OF THE PROFESSIONAL ENGINEER SHALL NOT BE CONSIDERED VALID TRUE COPIES.

COPYRIGHT 2007 SHAW ENGINEERING

2	NO REVISION	3-30-2007
1	NO REVISION	1-26-2007
ISSUE	REVISION	DATE

Drawn By: J.R.J. Checked By: G.J.S. Scale: 1"=30' Date: 11-3-2006

Drawing: **EROSION & SEDIMENT CONTROL DETAILS**

Project: NEW RETAIL / OFFICE BUILDINGS FOR **NORTH PLANK DEVELOPMENT COMPANY, L.L.C.**

N.Y.S. ROUTE 300 TOWN OF NEW HINDSOR, N.Y.

9 OF 9
Project No. 0405